

Item 2
JRPP 2014SYW078
DA0037/14
1189-1197 Pacific
Highway
And
1-1A Womerah Street
Turramurra
Council Assessment
Report

**JOINT REGIONAL PLANNING PANEL
(Sydney West Region)**

JRPP No	2014SW078
DA Number	DA0173/14
Local Government Area	Ku-ring-gai Council
Proposed Development	Consolidation four lots, demolition of all structures and the construction of two 5 storey residential flat buildings contain 79 residential units with 2 levels of basement parking for 108 vehicles.
Street Address	1189 to 1197 Pacific Highway and 1 to 1A Womerah Street, Turramurra
Applicant Owner	Mr AD & Mrs NC Cameron C/- Ray White Turramurra (1189 Pacific Highway) Mr DM Shanahan (1197 Pacific Highway) Mrs SH Yiu (1 Womerah Street) Mrs NA Burke (1A Womerah Street)
Number of Submissions	Nine for original plans; six for amended plans
Recommendation	Approval (deferred commencement consent)
Report by	Scott McInnes, Executive Assessment Officer

DEVELOPMENT APPLICATION

EXECUTIVE SUMMARY

Primary Property	1189 to 1197 Pacific Highway and 1 to 1A Womerah Street TURRAMURRA NSW 2074
Lot & DP	Lot 1 in DP220195, Lot 2 in DP220195, Lot 3 in DP220195 and Lot 1 in DP233452
Additional Property(/ies)	1189 Pacific Highway TURRAMURRA NSW 2074 1197 Pacific Highway TURRAMURRA NSW 2074 1 Womerah Street TURRAMURRA NSW 2074 1A Womerah Street TURRAMURRA NSW 2074
Lot(s) & DP (s)	No related Land
Proposal	Demolition of existing structures and construction of two five storey residential flat buildings comprising 79 units, associated landscaping and basement parking
Development Application No.	DA0173/14
Ward	WAHROONGA
Applicant	Broadstate Group Pty Ltd
Owner	Mr AD & Mrs NC Cameron C/- Ray White Turramurra (1189 Pacific Highway); Mr DM Shanahan (1197 Pacific Highway) Mr SH Yiu (1 Womerah Street) Mrs NA Burke (1A Womerah Street)
Date lodged	16/05/2014
Issues	Zone interface; Stormwater easement; and Adjoining heritage items.
Submissions	Yes- Nine for original plans; six for amended plans
Land & Environment Court Recommendation	N/A Approval (deferred commencement consent)
Assessment Officer	Scott McInnes
LEGISLATIVE REQUIREMENTS:	
Zoning	Residential 2(d3)
Permissible under Relevant legislation	Draft R4 High density residential KPSO SEPP 1, SEPP 55, SEPP 65, SREP 20 (Hawkesbury Nepean River) KPSO

Draft Ku-ring-gai Local Environmental Plan
2013
DCP 31 - Access
DCP 40 – Waste Management
DCP 47 – Water Management

Integrated development NO

PURPOSE FOR REPORT

The purpose of this report is to determine Development Application DA0173/14. The matter is reported to the Joint Regional Planning Panel (JRPP) for determination as the development proposed is for a residential flat building with a capital investment value greater than \$20 million (\$21,488,128.00). Pursuant to Clause 3 of Schedule 4A of the Environmental Planning and Assessment Act 1979 (EP& A Act), the JRPP is the consent authority.

HISTORY

Site history:

The application was lodged on 16 May 2014 prior to the commencement of the Ku-ring-gai Local Environmental Plan 2015 (KLEP) on 2 April 2015. The application is therefore subject to Clause 1.8A Savings provisions and pursuant to the relevant provisions of the Ku-ring-gai Planning Scheme Ordinance (KPSO). The site is currently used for residential purposes and zoned Residential 2(d3) under the KPSO which permits a residential flat building at the site, subject to consent being granted. Notwithstanding this, the application has also been considered pursuant to the exhibited version of the KLEP.

Development application history:

DA0173/14

16 May 2014

30 May to 30 June 2014

The DA was lodged
Neighbour notification was undertaken for 30 days along with referrals to internal departments of Council.

18 July 2014

A letter was forwarded to the applicant identifying significant issues:

- adverse tree impacts and related landscaping non-compliances
- numerous SEPP 65/RFDC non-compliances
- numerous KPSO/DCP 55 non-compliances
- adverse impacts on heritage

	<p>item at 3 Womerah Street</p> <ul style="list-style-type: none"> no solution for disposing of on-site <p>A significant redesign was required. A briefing was provided to the JRPP. A meeting was held with the applicant to discuss concerns raised within the above correspondence. Sketch plans were submitted to Council.</p>
18 July 2014	
21 July 2014	
17 September 2014	
26 September 2014	
13 November 2014	
14 November 2014	
1 December 2014	
2 December 2014	
15 December 2014	
6 February 2015	
3 March 2015	
20 March 2015	
31 March 2015	

item at 3 Womerah Street

- no solution for disposing of on-site

A significant redesign was required. A briefing was provided to the JRPP. A meeting was held with the applicant to discuss concerns raised within the above correspondence. Sketch plans were submitted to Council.

Council's response to the sketches is issued to the applicant, identifying that significant issues still remain. A new architect was engaged by the applicant and two alternate sketch designs were put forward to Council. A second meeting was held with applicant to discuss the two alternate sketch designs.

Council's response to the two alternate designs was sent to the applicant. Significant issues including urban design, landscaping, planning, heritage and engineering remain. Revisions to the two alternate sketch designs were put forward to Council. Council's response to the two alternate designs was sent to the applicant. Significant issues still remain, including urban design, landscaping, planning, heritage and engineering. The applicant puts forward a preferred option to Council. Council's responses to the preferred option were sent to the applicant. Significant issues regarding urban design, landscaping, planning, heritage and engineering remain. The applicant changes to Broadstate Group Pty Ltd. A new project team is engaged with a new architect, project manager and town planner. A third meeting was held to discuss a new alternate design. Sketches were put forward for Council's comment. Council's response to the alternate design was sent to the applicant.

26 May 2015	A fourth meeting held to discuss amendments to the sketch design. Council advised the applicant to formalise plans and to lodge revised design.
30 June 2015	The revised design is lodged with Council.
10 July 2015	Referrals sent to relevant technical staff, including RMS.
14 July 2015	A renotification letter was sent to the JRPP.
15 July-29 July 2015	Neighbour notification was undertaken for a period of 14 days
2 September 2015	A third letter was issued to the applicant identifying issues relating to: Building Code of Australia; SEPP65/RFDC amendments; KPSO/DCP55 amendments; Landscaping amendments; and Engineering amendments.
1 October 2015	A fifth meeting was held with the applicant to discuss concerns raised within the above correspondence.
28 October 2015	Additional information was lodged with Council.

Land and Environment Court appeal history

N/A

THE SITE AND SURROUNDING AREA

The site

Visual character study category:	Pre 1920 (1197 Pacific Highway and 1 to 1A Womerah Street) 1920-1945 (1189 Pacific Highway)
Easements/rights of way:	Yes (ROW-1189 Pacific Highway)
Heritage Item:	No
Heritage conservation area:	Yes— Area C6A
In the vicinity of a heritage item:	Yes (1187 Pacific Highway and 3 Womerah Street-draft item)
Bush fire prone land:	No
Endangered species:	Yes(Blue Gum High Forest)

Urban bushland:	No
Contaminated land:	No

The site is located on the corner of the Pacific Highway and Womerah Street, approximately 700 metres south of Turramurra Railway Station and just outside of the Turramurra Local Centre.

The site consists of four residential allotments comprising a total area of 5172m². The proposed amalgamation would result in an irregular shaped site with a frontage of 23m on Womerah Street and 50m with the Pacific Highway. There is a crossfall of approximately 7 metres from the highpoint along the western Womerah Street frontage to the low point at the eastern rear boundary, where a natural depression occurs towards Council's stormwater easement at 14A Warrangi Street.

The site currently contains four dwelling houses, two with access to Womerah Street and two with access to the Pacific Highway. One large *Eucalyptus saligna* (Sydney Blue Gum) and one *Angophora floribunda* (Rough Barked Apple) trees are located within the rear setback of the site. These trees form part of the Blue Gum High Forest (BGHF) community which is listed as an Endangered Ecological Community (EEC) under the NSW Threatened Species Conservation Act 1995.

Surrounding development

The site is located within a corridor of land zoned residential 2(d3) (R4 high density residential under the DKELP) which skirts the Pacific Highway. The site has a northern and eastern interface with land zoned residential 2(c2) (R2 low density residential under the DKLEP) at 3 to 3A Womerah Street and 10, 12 and 14A Warrangi Street. The site has a south-western interface with 2(c) zoning (R3 medium density residential under the DKLEP) at 1197 Pacific Highway. The above properties contain large dwellings with mature trees and ancillary structures, including sheds and swimming pools.

The land directly opposite the site at 2A and 2B Womerah Street is zoned residential 2(d3) and contains two residential flat buildings.

The site is flanked by a heritage item at 1187 Pacific Highway and a draft heritage item at 3 Womerah Street.

THE PROPOSAL

The application proposes the demolition of existing structures on four allotments and the construction of two residential flat buildings comprising 79 units, basement car parking for 108 vehicles and associated landscaping and the consolidation of the four existing lots into one. Specific details of the proposed development are as follows:

- Demolition of existing dwellings and structures on the site and clean up in preparation for the development (with the exception of the BGHF trees along the rear boundary);
- Construction of a residential flat development comprising:

- two levels of basement car parking for 108 vehicles, bicycle parking, waste collection area, caretaker/accessible water closet and storage;
- five storeys of residential development comprising Building A and Building B with 18 x one bedroom, 55 x two bedroom and 6 x three bedrooms, and
- comprehensive landscaping works, including the retention and enhancement of the two existing BGHF trees at the rear of the site.
- the construction of a stormwater pipe with an easement to convey water offsite through 10 Warrangi Street and into Council's stormwater network.

The final scheme is a redesign after an exhaustive process that has included the original submission, subsequent multiple revisions, multiple alternative design concepts, several meetings between the applicant and Council's assessment team members and the eventual formal resubmission of the application on 30 June 2015.

COMMUNITY CONSULTATION

The original application, lodged on 16 May 2014, proposed the construction of two 5 storey residential flat buildings containing 85 residential units with basement parking for 116 vehicles.

In accordance with Development Control Plan No. 56, owners of surrounding properties were given notice of the application. In response, submissions from the following were received:

1. *Mr J A Barnett- 13/2A Womerah Street, Turramurra*
2. *Mr P D Benson & Ms Z Guo- 18/1215-1217 Pacific Highway, Turramurra*
3. *Mr U A Kannangara- 3 Womerah Street, Turramurra*
4. *Ms K Winley C/- Mr S Klinger (Solicitor)- 1187 Pacific Highway, Turramurra*
5. *Mr S Y Kim & Mrs Y A Lee- 10 Warrangi Street, Turramurra*
6. *Mr W & Mrs J L Chin- 3A Womerah Street, Turramurra*
7. *Mr J A & Mrs K E Thompson- PO Box 700, Turramurra*
8. *Mr M J & Mrs E Lothian- 14 Warrangi Street, Turramurra*
9. *Mr G M Honey & Ms L P Broad- 14A Warrangi Street, Turramurra*

The submissions raised the following issues:

Visual privacy and overlooking

Non-compliant zone interface setback, inadequate building separation and inadequate landscaping would create unreasonable overlooking and privacy impacts on neighboring properties, particularly on the draft heritage item at 3 Womerah Street.

Traffic generation during construction and during operation

Council's Development Engineer has not raised any concerns regarding the potential for the development to generate significant amounts of traffic. Furthermore, 116 car spaces were required in accordance with the KPSO and the proposal provides 116

off-street car spaces. Accordingly, it would be unreasonable for Council to request additional off-street car parking beyond what is provided.

It is recommended that a construction traffic management plan be submitted and approved and then implemented during construction (**Condition 9**). In addition, a construction works zone will be required along the Womerah Street frontage. This will assist in minimising impacts in relation to vehicle sight lines, general road safety and conflicts with construction related vehicles (**Condition 10**).

Property devaluation

The devaluation of property is not a consideration under Section 79C (1) of the Environmental Planning and Assessment Act 1979.

Overland flow entering properties down slope in Warrangi Street

The development at this stage did not satisfy the objectives of the Development Control Plan 47- Water Management and would not reduce overland flow onto properties downslope into Warrangi Street. The applicant had not put forward a workable solution that would resolve stormwater disposal. Further investigation into a stormwater easement through properties in Warrangi Street was required.

Potential damage to adjoining properties from construction works

A dilapidation report has been recommended (**Condition 7**) for record keeping purposes only and may be used by an applicant or affected property owner to assist in any civil action required to resolve any dispute over damage to adjoining properties arising from works.

The potential for light spill to impact adjoining properties

External lighting is proposed; however it should not result in light spillage or glare to adjoining properties, a condition regarding outdoor lighting has been recommended (**Condition 26**).

Amended Plans lodged on 30 June 2015

The amended plans for 79 residential units (a reduction of 6 units), revised basement containing 108 car spaces and a significant redesign of the two buildings were also notified. Submissions from the following were received:

1. Ausgrid c/- Melida Rodriguez, LV Planner (Acting) Regional Services Central
2. Mr U A Kannangara- 3 Womerah Street, Turramurra
3. Mr W & Mrs J L Chin- 3A Womerah Street, Turramurra
4. Mr G M Honey & Ms L P Broad- 14A Warrangi Street, Turramurra
5. Mr M J & Mrs E Lothian- 14 Warrangi Street, Turramurra
6. Mr S Y Kim & Ms Y A Lee C/- 10 Warrangi Street, Turramurra

The submissions in response to the amended plans raised the following additional issues:

The removal of the substation from the architectural plans

The substation was no longer required as the applicant has agreed to extend the low voltage distribution network, providing enough power to the site and removing the need for a substation (**Condition 40 and 41**).

Visual privacy impacts

The potential for unreasonable overlooking resulting from the development is mitigated by compliant front, side and rear setbacks, landscaping treatments and adequate building separation within and off the site.

The periphery of the site will be in common ownership, allowing for uniform planting along the side and rear boundaries to form a visual screen which will soften the built form from adjoining properties.

Construction noise will be managed via a condition requiring a noise and vibration management plan to be prepared in accordance with AS 2436-2010 and the Office of Environment and Heritage Interim Construction Noise Guidelines to ensure minimal impacts for sensitive receptors (**Condition 18**).

Conditions are also recommended to ensure ongoing noise management of air conditioning units and other plant at the site (**Conditions 20, 33 and 94**).

Overland flow entering properties down slope in Warrangi Street

The development includes water management devices such as on-site detention, retention, reuse and a stormwater pipe and easement over 10 Warrangi Street to convey stormwater offsite into a new pit to be constructed in Warrangi Street. The proposal is likely to reduce the amount of overland flow moving downslope into Warrangi Street.

These engineering features satisfy the objectives of the Development Control Plan 47- Water Management.

INTERNAL REFERRALS

Urban design

Council's Urban Design Consultant reviewed the application against the provisions of SEPP 65 and provided the following comments:

"The following referral comments refer to recent amendments that have addressed previous issues.

Principle 1: Context

Satisfactory.

Heritage relationship of built form: Amendments to the internal layouts of units AG02 and BG01 and BG02 typical have resulted in a slightly more simplified building form (though still retaining a variety of building alignments) that overall adequately responds to the heritage context.

Principle 2: Scale

Building B exceeds the RFDC p27 maximum building depth of 18 metres, proposing a range between approximately 15.4 and 21.5 metres.

A merit assessment finds this variation is acceptable as solar amenity, outlook, private open space amenity, cross and natural ventilation and efficient internal layouts achieve high amenity satisfying development control objectives.

Principle 3: Built form

Satisfactory.

The following amendments have addressed previous issues:

Articulation: a reduction of the number of steps in the building lines along the northern elevations of Buildings A and B and the southern elevation of Building B have provided improvements to both internal amenity and a less 'busy' façade modulation.

Level 4 footprint: achieves the maximum 60% of the footprint of the storey below, and the requirement that the top floor be setback on all sides to minimise bulk and thus improves the relationship with the adjacent heritage item. This also ensures there is not a 5-storey wall plane component addressing the heritage item as previously proposed, satisfying cl 3.5 (C-1) (ii) of Development Control Plan No. 55.

Relationship to driveway: the building footprint no longer overhangs the driveway enabling some landscape, and the amended internal unit layouts have relocated a balcony that had a previously compromised geometry.

Principle 4: Density

Satisfactory.

Principle 5: Resource, energy and water efficiency

Satisfactory with recommended conditions.

Weather protection: To ensure all openings on the top floor (Level 4) or other openings with exposure to harsh solar or weather conditions have adequate protection such as eaves, hoods, awnings and the like.

Retaining walls: All walls that retain soil/fill are to be constructed as separate elements to all walls of Buildings A and B that accommodate dwellings or internal common spaces. No wall of a unit is to have adjacent ground levels above the proposed internal floor level. This is to minimise the potential for moisture entering habitable rooms, service and storage areas of all ground floor units and thus avoid potentially costly future rectification works should a breach occur over time. Damage caused by water seepage and leaks has become a major issue for strata titled developments. Therefore, where design strategies are available to reduce the likelihood of its occurrence, they should be implemented.

Planners comment: **Conditions 19 and 22** have been recommended to address the above comments.

Principle 6: Landscape

Satisfactory.

Central communal space: Amendments have addressed the compromised central communal open space of the previous scheme.

The new connection through the central space to a secondary communal open space at the north eastern corner increases overall communal amenity by providing residents with options of using spaces offering different landscape character.

The reconfiguration of a BBQ space and simplifying of the terraces has resulted in more functional space being made available. This achieves a more welcoming environment that is more conducive to social interaction.

Principle 7: Amenity

Satisfactory.

Central communal space: Reconfiguration of the central communal space has improved overall amenity and solar access to the primary gathering space by increasing available space, providing improved facilities and improving the relationship of ground floor units to the adjacent communal space.

Internal layouts: Amendments to layouts in Units AG02, BG01 and BG02 and BG07 typical to address built form issues have resulted in improved unit layouts that improve internal amenity and private open space outcomes.

Principle 8: Safety and security

Satisfactory.

The basic principles of Crime Prevention Through Environmental Design are evident throughout the application.

The building is secure and there is controlled access to basements and entrance gates. There is a clear delineation of public and private domain.

Principle 9: Social dimensions

Satisfactory.

Adaptable units: additional information submitted that confirms units achieve adaptable clearances.

It is noted that the overall unit mix has been gradually altered with each revision so that the proportion of 2 bedroom units has increased to comprise 70% of the development (56 of 79 units). Council may need to satisfy itself that their housing projections are being met where cumulative impacts of developments offering predominantly one type of unit are considered.

Principle 10: Aesthetics

Satisfactory.

Proportions and composition of elevations: Amendments to the internal layouts of Units AG02, BG01 and BG02 and BG07 typical have resulted in improving the proportions and composition of elevations to achieve a more cohesive façade expression.

Conclusion

*The development is acceptable, subject to minor amendments to the architectural plans (**Conditions 19 and 22**)."*

Heritage

Council's Heritage Advisor commented on the proposal as follows:

"Council had several meetings with the applicant and several versions of revised schemes have been discussed.

These comments refer to the amended scheme received by Council on 30 June and 28 October 2015.

Note: the subject area is now under the Ku-ring-gai LEP but, as the application was lodged early in 2014, LEP 194 (KPSO) and DCP 55 are the relevant controls for the site. Due to the potential heritage

impacts on the adjoining heritage item at 3 Womerah Street, a flexible approach to the DCP controls was taken in an attempt to minimise adverse impacts on the highly significant "modern" house the site adjoins and the larger Federation house it adjoins sited on the Pacific Highway. It should also be noted that when the site was rezoned, the now gazetted heritage item at 3 Womerah Street had not been identified. It was reviewed with a group of "Modern Houses" undertaken in 2010 and gazetted in March 2015. Thus much of the conflict with No 3 Womerah Street is a product of the zoning having occurred before the item was reviewed and listed.

Comments on amended scheme

The original scheme proposed two main building which had limited articulation and it was designed with a solid edge along the northern boundary of the site very close to the boundary of the low scale modern period heritage item. Due to requirements for vehicular access, the Pacific Highway frontage of the site cannot be used for vehicular access and access must be from Womerah Street. The initial scheme would have resulted in substantial adverse impact on the low scale heritage item at No 3 Womerah Street.

The revised scheme now proposes 2 separate buildings on the site but arranged largely as highly articulated buildings over a common basement parking area. To minimise adverse impacts on the heritage item at No 3 Womerah Street the northern elevations of the proposed buildings are highly articulated and have a minimum setback of 12m and in some places have a setback in excess of 18m.

Unfortunately, the driveway is required to be located in the Womerah Street frontage but it has been redesigned and now has a minimum setback from the boundary of the heritage item of 4-5m and a substantial landscape screen is provided. The width of the driveway has been reduced 10m back from the Womerah Street frontage and now drops down under the proposed front building which will assist in reducing amenity and visual impacts on the adjoining low scale heritage item. There is also a substantial break between the proposed buildings, located close to the boundary of No 3 Womerah Street, which assists in reducing direct impacts on the heritage item due to its physical location.

The amended scheme incorporates substantial plantings between the proposed buildings at the northern boundary close to the heritage item at No 3 Womerah Street. This heritage is particularly sensitive to development around it as it is designed in a lineal form on a west-east axis, with largely transparent north and south walls. Fortunately, the western end of the item accommodates the driveway and open carport and this area is not adversely affected and the eastern end containing the main bedroom faces north and east. The area most impacted is the central portion of its southern elevation which contains a series of glazed doors adjoining the living areas and children's bedrooms.

Revised Heritage Impact Statement (HIS)

A revised HIS has been submitted with the application. With regard to 3.4 of the DCP - Development within an Urban Conservation Area it states:

The subject site is located in the Urban Conservation Area 20 – Kuring-gai Avenue, Turramurra.

Located on a corner site, the proposed development transitions between the two predominant building setbacks by setting the building form back 9m from Womerah Street and the Pacific Highway. The setback area is also heavily landscaped to respect the streetscape and landscape character of the urban conservation area.

While the proposed new building is substantially greater in scale and bulk, it is asymmetrical, well-articulated and does not present a uniform building façade to the street. The scale and massing of the new building is broken up through recessing and stepping of the building form with the upper level.

The new building has been designed with a contemporary character which is sympathetic to the predominant masonry character of the urban conservation area, while not imitating traditional styles. The proposed development would not have a significant impact on the visual setting of the urban conservation area and is in keeping with council's intention to 'conserve the character of the (urban conservation areas) UCAs while allowing appropriate new medium density development that respects and enhances the existing values'.

With regard to 3.5 of the DCP it states:

The subject site is located in the vicinity of a number of heritage items; adjacent to the south (1187 Pacific Highway), opposite (1284 Pacific Highway), adjacent to the north (3 Womerah Street), further to the north (5 Womerah Street) and to the east (14 Warrangi Street).

While the proposed new building is substantially greater in scale and bulk than these existing items, it is set back from the boundaries and incorporates a reduction in floor plate size as height increases above the third level. It is also recommended that substantial amounts of landscaping be implemented in order to create a physical and visual separation from the adjacent items.

While the visual setting would be altered, views of these items from the public domain are not adversely affected because of the limited vantage points (especially 1187 Pacific Highway). Existing and introduced landscaping would provide partial screening. This and the physical separation of the heritage items on Warrangi Street would mean that only some portions of the upper levels of the proposed new building would be visible as a backdrop to these items. It is

recommended that landscaping treatment at the boundaries include substantial native tree plantings which reach mature heights ranging from 6m to 15m. This would assist in reducing visual impacts.

While not strictly adhering to the prescribed 15m setback at the upper level to the heritage item at 3 Womerah Street, the objective to not visually dominate a heritage item is achieved through the 9 metre zone interface setback from the north boundary and the recommended substantial landscaping along the northern boundary. It should be noted that existing dense and substantial landscaping along the north boundary obscures views of this heritage item from the public domain. It is understood that existing tree planting will be retained as part of the proposal. While portions of its roof are visible, generally this building is visually contained by the tall masonry fence surrounding it. Its heritage significance as an example of Sydney School architecture would not be impacted and its visual setting would not be substantially affected.

The proposed new building incorporates setbacks and a reduction in floor plate as height increases, in order to minimise impact on the listed heritage items on the Pacific Highway and Womerah Street.

DCP 55 – Chapter 3.4 Development within an UCA. – Amended Scheme

The DCP provides design objectives and controls for development within an UCA:

C – 1 Multi-unit housing development in an UCA should respect the predominant architectural character of the UCA and be designed with reference to predominant design elements such as massing, style, complexity and pitch of roofs, proportions of window and door openings and external materials and colours

Comment:

The proposed development is a contemporary building and does not respect the predominant architectural character of the UCA. However, the development is not dissimilar in nature to the recent developments at 1203- 1209 & 1211 – 1213 Pacific Highway which is within the UCA. The amended application is considered satisfactory.

C – 2 Building facades should be well articulated to avoid long continuous facades facing the street frontages. Facades should be preferably broken up into discrete pavilions or the openings in walls arranged so that their shape and size reflects the structure and openings of its neighbour.

Comment:

The proposed development is two separate buildings. Both buildings are highly articulated. The use different materials and opening

shapes. The openings are of a varied pattern with both vertical and horizontal arrangements.

C – 3 Scale and massing of new buildings should be proportioned to respect and enhance the scale and character of adjacent or nearby development within the UCA. Façade massing can be varied to break down the scale of new development adjoining new residential development.

Comment

The scale, of the development is not dissimilar to the recent developments at 1203- 1209 & 1211 – 1213 Pacific Highway. The façade massing is varied and reflects the more recent development in the area.

C – 4 The form and outlines of new development should respect the complexity and patterns of predominant roof shapes and skylines of the particular UCA in which they are located. Complex arrangements of hips and gables are suitable in a predominantly Federation period UCA, while hips, gables or parapeted roofs are suitable for a predominately Inter-War period UCA.

Comment

The proposed roof form is not dissimilar to 1203- 1209 & 1211 – 1213 Pacific Highway and in keeping with the contemporary architectural style and does not add additional height to the development.

C – 5 Where there is a uniform building setback, new buildings should respect the established pattern and not be located forward of adjacent buildings.

Comment

The proposed building has acceptable setbacks from the street frontages of the Pacific Highway and Womerah Street.

C – 6 New buildings should not be orientated across sites contrary to the established alignment pattern.

Comment

The proposed development is located on an amalgamated site currently containing 4 separate dwellings. It is designed as two separate buildings with substantial articulation. This control is considered acceptable.

C – 7 New buildings should incorporate modern designs, building materials and techniques which are sympathetic to the predominant character of the UCA. Traditional styles should not be copied but

used merely as a point of reference on which to base the characteristics of new design.

Comment

The proposed building is clearly contemporary in design and incorporates modern designs, building materials and techniques. The nature of the building is not dissimilar to the recent flat buildings at 1203- 1209 & 1211 – 1213 Pacific.

C – 8 Combinations of modern materials are acceptable if the detailing, proportions and colour range are carefully chosen to blend with the existing character of the precinct.

Comment

The combination of modern materials is considered satisfactory.

C- 9 Complimentary combinations of textures and colours may be used to blend the massing of the new development into the existing streetscape.

Comment

The combination of textures and colours is considered satisfactory.

C -10 Design and materials of the front fence, gates and walls are to be appropriately designed and compatible with the heritage context of the UCA.

Comment

The photomontages show the no front fence and the front boundary defined by plantings. There is a stone and metal entry structure roughly in the middle of the Pacific Highway frontage. This is considered satisfactory.

C – 11 Unsympathetic fences, gates and walls are to be removed and replaced by elements of appropriate heights, style and fabric that complement the character of the UCA

Comment

N/A.

C -12 Where original or early fences and gates contribute strongly to the character of a precinct they should be retained and repaired.

Comment

The site does not contain significant front fences.

DCP 55 – Chapter 3.5 Development within the vicinity of a heritage item.

C – 1 Medium density development adjacent to a heritage items shall;

- i) Setback the first and second storeys at least 10m for the adjacent heritage building;*
- ii) Setback the third and fourth storeys at least 15m from the adjacent heritage building; and*
- iii) Be setback from the front boundary so that it is no closer than the adjoining heritage building.*

Comment

i) The setback from the item at 1187 Pacific Highway exceeds the minimum setbacks. This is largely achieved as the item has a relatively large garden area adjoining the development site.

The setback from the item at No 3 Womerah Street is acceptable.

ii) At the third and fourth floor level, the development is set back more than 15m from the item at 1187 Pacific Highway.

The setback at the third and fourth floor levels from the item at No 3 Womerah Street is acceptable.

iii) The front setback of the development is satisfactory in relation to the adjoining heritage items.

C – 2 Screen planting on all boundaries with an item to achieve a height of at least 4m (when mature).

Comment

Screen planting along the boundaries of the heritage items exceeds the minimum heights required and is a mitigating element of the application, particularly the item at No 3 Womerah Street.

C – 3 New development shall respect the aesthetic character of the item and not dominate it.

Comment

It is difficult to achieve an appropriate aesthetic relationship between the scale of development envisaged in the zoning and adjoining items of a lower scale. It is considered the proposed development is satisfactory.

C – 4 Colours and building materials are to be complementary to the heritage building.

Comment

The colour and building materials is considered satisfactory.

C -5 The solid component of front and side fences is to be no higher than the fence of the adjoining item and any additional height must be visually transparent.

Comment

The adjoining items have high front and boundary fences and this issue is satisfactory.

C – 6 An applicant's statement of environmental effects shall discuss the effect that the proposed development will have on a heritage items (including its garden and setting).

Comment

The application includes a HIS. The relevant sections are quoted above.

Conclusions and recommendations

*From a heritage perspective the amended application is considered to have satisfactory impacts on the adjacent and nearby heritage items and the UCA subject to a recommendation that archival recordings of the buildings to be demolished is undertaken in order to record the built environment of Ku-ring-gai prior to the urban consolidation of land (**Condition 6**)."*

Landscaping

Council's Landscape and Tree Assessment Officer commented on the proposal as follows:

"Deep soil landscape area (Clause 25B, 25I(2)(c) Part IIIA KPSO)

Site area 5172m²

Numerical compliance 50% (2586m²)

Proposed deep soil area 50% (2586m²)

*The applicant's calculations are concurred with.
Proposed areas of stepping stone pavers greater than 1.2m in width are to be substituted with shrub/groundcover planting by condition (**Condition 21**).*

Tree impacts

An Arboricultural Assessment, prepared by Arboreport and dated 26/06/15, has been submitted with the application. Tree numbers refer to this report. The proposal seeks to remove one canopy tree of moderate significance.

Significant trees to be retained

Tree 1/ Eucalyptus saligna (Sydney Blue Gum) This tree is located at the north-eastern corner of the site. The proposed building does not encroach within the tree protection zone.

Tree 2/ Angophora floribunda (Rough Barked Apple). This mature tree is located at the north-eastern corner of the site. The development will result in a major encroachment (17.3%) within the tree protection zone. The arborist recommends the encroachment be reduced to 10 % by increasing setbacks to the basement, building, OSD and associated stormwater lines. A large proportion of the encroachment is within the footprint of an existing dwelling and a pool. The encroachment is considered acceptable.

*Tree 3/ Ilex cornuta (Chinese Holly). The tree is located on the western (front) boundary of the site. The tree protection zone has been incorrectly calculated for multiple stem trees and shall be modified to 3m. The proposed setbacks to the main steps and path are greater than stated in the arborist report. The tree provides existing amenity and is to be retained by condition (**Condition 13**).*

*Tree 5/ Lagerstroemia indica (Crepe Myrtle) The tree is located on the eastern boundary of the site. The tree is to be retained in association with proposed planting (**Condition 13**).*

Tree 6/ Brachychiton acerifolius (Flame Tree) The tree is located on the eastern boundary of the site. The tree is to be retained in association with proposed planting.

Tree 9/ Jacaranda mimosifolia (Jacaranda) The tree is located on the southern boundary of the site, within the adjoining property. The proposed impacts are considered acceptable.

Fraxinus excelsior 'Aurea' (Golden Ash) The tree is located on the southern boundary of the site, within the adjoining property. All works are proposed outside the tree protection zone. The tree is to be protected during construction by condition.

Pittosporum undulatum (Sweet Pittosporum) The tree is located on the southern boundary of the site, within the adjoining property. All works are proposed outside the tree protection zone. The tree is to be protected during construction by condition.

*Tree 13/ Liquidambar styraciflua (Liquidambar) The tree is located on the front boundary, at the north western corner of the site. The development will result in a minor encroachment (6.4%) within the tree protection zone. Existing levels are to be shown within the remainder of the tree protection zone. Details of a front fence has not been shown on the landscape plan. The tree is to be protected during construction by condition (**Condition 13**).*

*Tree 21/ Cupressus glabra (Arizona Cypress) The tree is located on the northern boundary. The tree is to be protected during construction by condition (**Condition 13**).*

Tree 22/ Jacaranda mimosifolia (Jacaranda) The tree is located on the southern boundary of the site, within the adjoining property. The proposed impacts are considered acceptable.

*Existing camellias located along the front boundary of the development directly south of Tree 13 provide considerable existing amenity and should be shown to be retained and protected. This is conditioned (**Condition 21**).*

Trees to be removed

*Tree 3/ Ilex cornuta (Chinese Holly). The tree is located on the western (front) boundary of the site. The tree protection zone has been incorrectly calculated for multiple stem trees and shall be modified to 3m. The proposed setbacks to the main steps and path are greater than stated in the arborist report. The tree provides existing amenity and is to be retained by condition (**Condition 13**).*

Tree 12/ Jacaranda mimosifolia (Jacaranda). The tree is located on the south-western corner of the site. There is no objection to the removal of this tree.

Street trees to be removed

There are no street trees proposed to be removed.

Front setback

*The proposed planting of Cupaniopsis along the front setback is to be substituted with taller growing locally occurring trees such as Eucalyptus saligna (Sydney blue gum) (**Condition 21**).*

Common open space (Section 4.5.5 C-9 DCP55)

At least 30% of the site area is to be common open space principally for tall tree planting. The proposal provides 1307m² or 25% of the site area as common open space.

Screen Planting (Clause 25D (2)(c) Part IIIA KPSO)

Northern and southern boundary – Syzigium Southern Form sp. 4m, Acmena smithii 'Minor' (5m) and Syzigium leumanii (5m.)

Rear eastern and southern boundary - assorted shrub planting as listed – Acmena smithii 'Minor' (5m).

Communal Open Space (SEPP65, RFDC, Clause 25C (2)(g) Part IIIA KPSO)

A significant objective of the zoning is the achievement of a high level of residential amenity, including provision of generous communal open space to create opportunities for recreation and social activities.

The development provides the two areas of communal open space over the basement, between the two buildings on two levels and both provide BBQ area, seating and shade structures in the form of pergolas. The communal open space is directly accessible from Building B and via a chair lift from Building A. Adequate casual surveillance is provided. Access to the communal open space along the northern boundary has been provided.

A further, more informal, area has been provided at the north-eastern corner of the site in relation to the two large remnant trees.

The proposal provides a variety of communal open space that responds well to the site conditions and landscape objectives of the zoning.

Tree replenishment

A minimum of 18 trees are required for the site. The proposal seeks to remove 1 canopy tree of moderate significance and will provide in excess of 30 canopy trees.

BASIX

The BASIX certificate has not nominated common area landscape that is to be indigenous/low water use species.

The Basix certificate description of areas of garden and lawn reflects the proposed development.

Stormwater plan

*The sediment fencing is to be relocated by condition to follow tree protection fencing of Trees 1 and 2 (**Condition 23**).*

Environmental site management plan

Location of site buildings, temporary access and material handling areas are to be shown located outside of the TPZ of existing trees in accordance with recommendations in the arborist report.

CONCLUSION

The proposal is acceptable, subject conditions."

Engineering

Council's Development Engineer commented on the proposal as follows:

"Water management

A deferred commencement consent has been recommended with the registration of the drainage easement over 10 Warrangi Street (Condition A).

The water management system on site comprises on site detention, rainwater retention and re-use and water treatment with cartridges and in a bioretention strip.

Traffic and parking

The site is further than 400 metres from Turrumurra Station. Therefore, the parking rates in Clause 25J of the KPSO apply. The development requires 94 resident and 22 visitor parking spaces. Nine adaptable units are required.

The plans show the correct number of spaces, being 108. Of these, 6 pairs of spaces are in a tandem arrangement, which means that each must be allocated to a three bedroom unit.

The carpark appears to comply with the AS2890.1:2004 Off street car parking.

Details of the proposed traffic control device have been provided. The device is similar to the one installed in another development in Cowan Road, St Ives. The device is satisfactory – it is not a traffic light as such and does not require a large stop sign.

The parking provision has not changed and is acceptable.

Waste management

A longitudinal section through the entry driveway has now been provided, which demonstrates that 2.6 metres of headroom will be available for the small waste collection vehicle.

The loading bay is still remote from the waste storage area. It is likely that the vehicle will stand in the entrance while collecting, or possibly

in Visitor spaces 2 and 3 if they are unoccupied. This will become a matter for management by the Owners' Corporation. Temporary inconvenience to the residents may be unavoidable.

CONCLUSION

The application is acceptable, subject to conditions."

Building

Council's Building Officer commented on the proposal as follows:

"The application satisfies the deemed to satisfy provisions of the Building Code of Australia (Volume One).

The amended scheme now includes a closet pan and washbasin in a room within the basement and is accessible to employees without entering a sole occupancy unit.

*The application is acceptable, subject to conditions (**Conditions 45 and 93**)."*

Health

Council's Environmental Health Officer commented on the proposal as follows:

*"The application is acceptable, subject to recommended conditions ensuring that the screening around rooftop air conditioning units provides an adequate level of noise attenuation and are indiscernible from within the site and public domain (**Conditions 20,22,32,33 49 & 94**)."*

Ecology

Council's Ecological Assessment Officer commented on the proposal as follows:

"Ecological comments

This ecological review of the site was based on the results of a desktop review and a site inspection on the 23 of July 2014.

During the site inspection, the vegetation was inspected to determine the presence/absence of native plant communities. The native vegetation within the rear of the site was determined to be representative of Blue Gum High Forest (BGHF) listed as a Critically Endangered Ecological Community (CEEC) under the Threatened Species Conservation Act 1995. The structure of the BGHF community consists of a native canopy within an exotic understorey.

The native vegetation within the site comprised of one Sydney Blue Gum (Eucalyptus saligna) identified as Tree 1 & Tree 2 a Rough-barked Apple (Angophora floribunda). The understorey vegetation within the canopy spread of Blue Gum High Forest trees was dominated predominantly by weeds.

Ecological constraints/environmental controls

The native vegetation (BGHF) within the site occurs primarily within the rear of 1 Womerah Street and has been mapped as an area of "biodiversity significance" under the KPSO.

All BGHF canopy trees are proposed to be retained within the area identified as "biodiversity significance".

Flora and fauna assessment

A flora and fauna assessment has been submitted which assesses the impacts of the proposal upon threatened species, endangered populations and endangered ecological communities listed under the Threatened Species Conservation Act 1995.

The flora and fauna assessment has prepared an impact assessment for Sydney Turpentine Ironbark Forest (STIF), however the vegetation type is not STIF rather BGHF. Notwithstanding this, as the proposed development will not result in the removal of any BGHF trees and the impact upon trees subject to minor changes as detailed in the landscape assessment are considered to be acceptable. An amended impact assessment in accordance with Section 5A of the Environmental Planning & Assessment Act 1979 is not considered to be necessary.

Landscape plan

The amended landscape plan is acceptable. The amended landscape plan now proposes more species characteristic of BGHF.

Conclusion

The proposal is acceptable on ecological grounds".

EXTERNAL REFERRALS

Roads and Maritime Services

The application was referred to Roads and Maritime Services (RMS) under Division 17, Section 104 of the State Environmental Planning Policy (Infrastructure) 2007 given the development proposes 75 units or more with access to a road that connects to classified road (if access within 90m of the connection, measured along alignment of connecting road).

The Manager of Land Use and Assessment from RMS replied with considerations for Council on 30/07/2014 and 22/09/2015, which have been considered as part of Council's Development Engineer's assessment and have been recommended as conditions of consent (**Conditions 39 and 91**).

STATUTORY PROVISIONS

State Environmental Planning Policy No. 1 – Development Standards (SEPP 1)

SEPP 1 establishes a general principle that a development standard may be varied where strict compliance can be shown to be unreasonable or unnecessary or would tend to hinder the attainment of the objects specified in Section 5(a)(i) and (ii) of the Environmental Planning and Assessment Act, 1979.

This application is non-compliant with the zone interface setback standard (Clause 25L) which states that the third and fourth storey of any building on land within Zone No 2 (d3) must be set back at least 9 metres from any boundary of the site of the building with land (other than a road) that is not within Zone No 2 (d3). The proposed development, being Building A (closest to The Pacific Highway) and Building B, contains minor encroachments into the 9m setback as shown on the floor plans DA104 and DA105.

The extent of the departure varies from 0.2m to 1m and is very minor.

The applicant has submitted a SEPP 1 objection in respect of the non-compliance which is considered against the following assessment criteria:

Whether the planning control in question is a development standard

Clause 25L states that the third and fourth storey of any building on land within Zone No 2(d3) must be set back at least 9 metres from any boundary of the site of the building with land (other than a road) that is not within Zone No 2 (d3). This control is a numerical development standard, as defined in Section 4 of the Environmental Planning and Assessment Act 1979, and is therefore capable of being varied under the provision of State Environmental Planning Policy No. 1 - Development Standards.

The underlying object or purpose of the standard

The purpose of the standard is reflected in the Clause 25D, which includes the following:

Clause 25L provides for the following objective: '(1) The objective of this clause is to provide a transition in the scale of buildings between certain zones'. In essence, the objective seeks to ensure that a suitable transition in scale between developments is achieved, especially where the interface between the different types of development that occurs in the higher and lower density zones.

Whether compliance with the standard is consistent with the aims of the policy and whether compliance with the standard hinders the object of the Act under s5a (i) and (ii)

The aims and objectives of SEPP 1 – Development Standards is:

"To provide flexibility in the application of planning controls operating by virtue of development standards in circumstances where strict compliance with those standards would, in any particular case, be unreasonable or necessary or tend to hinder the attainment of the objects specified in section 5 (a) (i) and (ii) of the Act."

The objects of the Act are to:

(a) "to encourage:

- (i) *the proper management, development and conservation of natural and artificial resources, including agriculture land, natural areas, forests, minerals, water, cities, town and villages for the purpose of promoting the social, and economic welfare of the community and a better environment.*
- (ii) *the promotion and co-ordination of the orderly and economic use and development of land."*

It is considered that the variation to 25L of the KPSO would not hinder Council's overall strategic objectives towards the proper management and development of land within the municipality having regard to the site constraints and context, and is therefore consistent with the objectives of the policy.

The applicant submits that the setback variation facilitates the redevelopment of the site in a manner that appropriately responds to the character of the locality and is therefore considered to be consistent with the criteria and objectives of Section 5(a)(i) and (ii) of the EP&A Act.

It has also been submitted that strict compliance with the development standard would not result in discernible benefits to the residential amenity of the residents of the proposal, nor would the amenity of the residents adjoining the development be greatly improved were compliance achieved.

Whether compliance with the standard is unreasonable or unnecessary in the circumstances of the case

It has been submitted by the applicant that compliance with the zone interface setback control is unreasonable or unnecessary in the circumstance of the case for the following reasons:

- *"The proposal is compliant with other development standards that work together to create the built form, scale, building separation, landscaping, deep soil planting, site coverage and density for the development.*
- *The balconies and walls are not parallel to the boundary, being offset and only the corners of the balconies or building encroach into the setback thus for the most part the development is well outside the 9m setback.*
- *Where the wall of the levels 2 and 3 on the eastern façade of Building A encroach into the setback only small bedroom windows are proposed. This style of window in a low traffic area of each unit will not impact on privacy or amenity of the adjoining property. The building separation at this point is more than acceptable.*
- *The variation does not result in any additional overshadowing impacts to adjoining properties given general compliance with the building separation controls.*
- *The proposal is appropriate in terms of bulk and scale. The design responds to the topography of the site and irregular shape created by the four allotments.*

- *The balconies, being offset, are not dominant when viewed from the Pacific Highway, Womerah Street or the adjoining properties.*
- *The two building are articulated and stepped in appearance, with the upper levels recessed to minimise visual bulk and which comply with the 60% fifth storey control.*
- *The deep soil planting zones along the site boundaries provide ample opportunity for substantial planting of canopy trees in accordance with the landscape plan submitted as part of the application. Importantly the basement does not extend into this area thus true deep soil zones are provided for tree replenishment which involves at least 34 new trees."*

Whether the objection is well founded

The SEPP 1 objection is assessed as being well founded, noting that it accurately cites the development standard to be varied, it clearly establishes the context in which the variation is proposed and it provides sufficient reasoning and justification for not needing to strictly comply with the development standard. In this regard, the objection is supported.

Whether the proposed variation is of regional or state significance

The context and situation in which the departure from the development standards is proposed is not assessed as have any regional or state significance. It is isolated to this site and the proposed development.

The public benefit in maintaining the planning controls under the environmental planning instrument

The proposed minor variation does not act to erode the intention or effectiveness of the development standard if and when applied to future development. The setback controls are no longer contained in the KLEP 2015.

State Environmental Planning Policy (Infrastructure) 2007 (SEPP Infrastructure)

The proposed development is subject to the provisions of SEPP Infrastructure, as the development is adjacent to Pacific Highway road corridor.

The proposal is satisfactory with regard to its proposed point of access off Womerah Street and is subject to conditions (**Conditions 39 & 91**).

State Environmental Planning Policy No. 65 - Design quality of residential flat development (SEPP 65)

SEPP 65 aims to improve the design quality of residential flat buildings across New South Wales and to provide an assessment framework and design code for assessing "good design".

A Design Verification Statement, has been submitted with the application in accordance with clause 50(1A) of the Environmental Planning and Assessment Regulation 2000.

The application has been assessed by Council's Urban Design Consultant and is considered to be acceptable in terms of SEPP 65 considerations.

Residential Flat Design Code Compliance Table

Pursuant to Clause 30(2) of SEPP 65, in determining a development application for a residential flat building, the consent authority is to take into consideration the Residential Flat Design Code (RFDC). The following table is an assessment of the proposal against the guidelines provided in the RFDC.

PART 02 SITE DESIGN		
Site Configuration		
Deep Soil Zones	A minimum of 25 percent of the open space area of a site should be a deep soil zone; more is desirable. Exceptions may be made in urban areas where sites are built out and there is no capacity for water infiltration. In these instances, stormwater treatment measures must be integrated with the design of the residential flat building.	YES
Fences + walls	Define the edges between public and private land to provide privacy and security and contribute positively to the public domain.	YES
Open Space	The area of communal open space required should generally be at least between 25 and 30 percent of the site area. Larger sites and brown field sites may have potential for more than 30 percent.	YES
	The minimum recommended area of private open space for each apartment at ground level or similar space on a structure, such as on a podium or car park, is 25m ² .	YES
Orientation	Optimise solar access, contribute positively to desired streetscape character, support landscape design with consolidated open space areas, protect amenity of existing development and improve thermal efficiency.	YES
Stormwater management	Minimise impact on the health and amenity of natural waterways, preserve existing topographic and natural features and minimise the discharge of sediment and other pollutants to the stormwater drainage system.	YES
Safety	Carry out a formal crime risk assessment for all residential developments of more than 20 new dwellings.	YES
	Ensure Residential flat developments are safe and secure for residents and visitors.	YES
Visual Privacy	<p>up to four storeys/12 metres</p> <ul style="list-style-type: none"> - 12 metres between habitable rooms/balconies - 9 metres between habitable/balconies and non-habitable rooms - 6 metres between non-habitable rooms <p>five to eight storeys/up to 25 metres</p> <ul style="list-style-type: none"> - 18 metres between habitable rooms/balconies - 13 metres between habitable/balconies and non-habitable rooms - 9 metres between non-habitable rooms 	YES
Building Entry	Create entrances which provide a desirable residential identity, provide clear orientation for visitors and contribute positively to the	YES

	streetscape and building façade design.	
Parking	Provide adequate parking for occupants, visitors and disabled.	YES
Pedestrian Access	Identify the access requirements from the street or car parking area to the apartment entrance.	YES
	Follow the accessibility standard set out in Australian Standard AS 1428 (parts 1 and 2), as a minimum. Provide barrier free access to at least 20 percent of dwellings in the development.	YES
PART 03 BUILDING DESIGN		
Building Configuration		
Apartment layout	Single-aspect apartments should be limited in depth to 8 metres from a window.	YES
	The back of a kitchen should be no more than 8 metres from a window.	YES
	The width of cross-over or cross-through apartments over 15 metres deep should be 4 metres or greater to avoid deep narrow apartment layouts.	YES
	If Council chooses to standardise apartment sizes, a range of sizes that do not exclude affordable housing should be used. As a guide, the Affordable Housing Service suggest the following minimum apartment sizes, which can contribute to housing affordability: (apartment size is only one factor influencing affordability) - 1 bedroom apartment 50m ² - 2 bedroom apartment 70m ² - 3 bedroom apartment 95m ²	YES
Apartment Mix	Include a mixture of unit types for increased housing choice.	YES
Balconies	Provide primary balconies for all apartments with a minimum depth of 2 metres. Developments which seek to vary from the minimum standards must demonstrate that negative impacts from the context-noise, wind – can be satisfactorily mitigated with design solutions.	YES
Ceiling Heights	The following recommended minimum dimensions are measured from finished floor level (FFL) to finished ceiling level (FCL). - in residential flat buildings or other residential floors in mixed use buildings: - In general, 2.7 metres minimum for all habitable rooms on all floors, 2.4 metres is the preferred minimum for all non-habitable rooms, however 2.25m is permitted.	YES
Ground Floor Apartments	Optimise the number of ground floor apartments with separate entries and consider requiring an appropriate percentage of accessible units. This relates to the desired streetscape and topography of the site.	YES
	Provide ground floor apartments with access to private open space, preferably as a terrace or garden.	YES
Internal	In general, where units are arranged off a double-loaded corridor, the	YES

Circulation	number of units accessible from a single core/corridor should be limited to eight.	
Storage	In addition to kitchen cupboards and bedroom wardrobes, provide accessible storage facilities at the following rates: - studio apartments 6m ³ - one-bedroom apartments 6m ³ - two-bedroom apartments 8m ³ - three plus bedroom apartments 10m ³	YES
Building Amenity		
Acoustic Privacy	Ensure a high level of amenity by protecting the privacy of residents within apartments and private open space	YES
Daylight Access	Living rooms and private open spaces for at least 70% of apartments in a development should receive a minimum of three hours direct sunlight between 9am and 3pm in mid-winter.	YES
	Limit the number of single-aspect apartments with a southerly aspect (SW-SE) to a maximum of 10% of the total units proposed.	YES
Natural Ventilation	Building depths, which support natural ventilation typically, range from 10 to 18 metres.	YES
	Sixty percent (60%) of residential units should be naturally cross ventilated.	YES
	Twenty five percent (25%) of kitchens within a development should have access to natural ventilation.	YES
Building Performance		
Waste Management	Supply waste management plans as part of the development application submission as per the NSW Waste Board.	YES
Water Conservation	Rainwater is not to be collected from roofs coated with lead- or bitumen-based paints, or from asbestos- cement roofs. Normal guttering is sufficient for water collections provided that it is kept clear of leaves and debris.	YES

Draft State Environmental Planning Policy No 65—Design Quality of Residential Flat Development (Draft SEPP 65)

On 23 September 2014, the Department of Planning and Environment exhibited the proposed changes to SEPP 65 which includes the replacement of the RFDC with an Apartment Design Guideline.

These amendments have been considered in the assessment of the application. The proposal is considered to be generally consistent with draft SEPP 65 and the draft Apartment Design Guideline which is mostly reflected in the RFDC.

Ku-ring-gai Planning Scheme Ordinance

Part A: Development

Development standard	Proposed	Complies
Site area (min): 2400m ²	5,172m ²	YES
Deep landscaping (min): 50%	50% (2586m ²)	YES
Street frontage (min): 30m(1,800m ² or more)	50m (Pacific Highway)(Primary frontage) 27.8m (Womerah Street)	YES

	Primary frontage complies with development standard	
Number of storeys (max): 5	5	YES
Site coverage (max): 35%	32.7%	YES
Top floor area (max): 60% of level below	58%	YES
Storeys and ceiling height (max): 4 storeys and 13.4m perimeter ceiling height (Not including top storey)	4 storeys & <13.4m	YES
Car parking spaces (min): 20 (visitors) 85 (residents) 105 (total)	20 (visitor) 88 (resident) 108 (total)	YES YES YES
Zone interface setback (min): 9m to the third and the fourth storey	Level 3: 8.5m-9m Level 4: 8.5m to 9m	NO (refer to SEPP 1 objection)
Manageable housing (min): 10%	10%	YES
Lift access: required if greater than three storeys	Two lift cores per building	YES

Zone interface (Clause 25L)

The proposed development, being Building A (closest to The Pacific Highway) and Building B have minor (0.2m to 1m) encroachments into the 9m zone interface setback. A SEPP 1 Objection has been made pursuant to Clause 25L of the KPSO (refer above).

Part B: Residential zone objectives

The development satisfies the objectives for residential zones as prescribed in clause 25D, provided that the documentary evidence that the property benefits from a drainage easement over the downstream properties as far as the public drainage system is provided as part of the deferred commencement (**Condition A**).

Part C: Heritage /conservation areas

There are no heritage items located within the subject site, however a heritage item (1794 (1187 Pacific Highway, Turramurra) and draft heritage item (3 Womerah Street) adjoin the site to the north and south. We note that the DKLEP

The proposal has been sited and designed to respect these items and satisfies the overarching objectives of the KPSO (refer to Heritage referral).

Clause 61L Biodiversity protection

The site has been mapped as containing 'Areas of biodiversity significance'. Council's Ecological Assessment Officer has attended site to ground truth the proposal against the KPSO mapping and concluded that the proposal does not propose the removal of any trees that comprise part of the onsite BGHF endangered ecological community or trees from the area identified as 'Areas of biodiversity significance'.

Council's Ecological Assessment Officer provided an assessment of the proposed development against the biodiversity lands controls in accordance with the KPSO. The proposal is acceptable in this regard.

Ku-ring-gai Draft Local Environmental Plan 2013 (Draft KLEP)

The Draft KLEP was on exhibition from 25 March 2013 to 6 May 2013. The Draft KLEP was gazetted 5 March 2015. The Draft KLEP did not take effect until 2 April 2015 and includes savings provisions for applications made prior to the date. Under the provisions of the Draft KLEP the site is zoned R4 High density residential (R4) and RFBs are permissible in the zone with development consent.

This assessment report has considered the following provisions of the exhibited Draft KLEP:

Land use table

It is considered that the proposal would not contradict the following draft objectives established under the R4 zoning:

- *To provide for the housing needs of the community within a high density residential environment.*
- *To provide a variety of housing types within a high density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To provide for high density residential housing close to public transport, services and employment opportunities.*

Summary- Draft KLEP compliance

Clause	Proposed	Complies
4.3 Height of buildings: 17.5 metres	17.5	YES
4.4 Floor space ratio: 1.3:1	1.3:1	YES
6.6 (2) Minimum allotment size: 1,200m ²	5,172m ²	YES
6.6 (2)(b) Minimum street frontage: 30 metres	50m (Primary frontage: Pacific Highway)	YES
5.9AA Trees or vegetation not prescribed by development control plan	Sufficient number of tall trees will be retained on site.	YES
6.2 Earthworks	Excavation of the site is proposed for basement car parking, storage and waste management facilities, etc.	YES
6.5 Stormwater and water sensitive	Adequate stormwater and water	YES

Clause	Proposed	Complies
urban design	sensitive system can be implemented for this development.	

5.10 Heritage conservation

Under this draft clause the consent authority may request a heritage management document before granting consent to a development on land that is within the vicinity of a heritage item or within a heritage conservation area.

The DA included a Heritage Impact Statement that considered the proposal's impact on the Draft Heritage Conservation Area- C6A and the draft heritage item to be negligible and has been endorsed by Council's Heritage Advisor (refer to Heritage above).

6.3 Biodiversity Protection

The site has been mapped as containing 'Areas of biodiversity significance'. Council's Ecological Assessment Officer has attended site to ground truth the proposal against the KPSO mapping and concluded that the proposal does not propose the removal of any trees that comprise part of the onsite BGHF endangered ecological community or trees from the area identified as 'Areas of biodiversity significance'.

Council's Ecological Assessment Officer has provided an assessment of the proposed development against the biodiversity lands controls in accordance with the KPSO. The proposal is acceptable in this regard.

Policy Provisions (DCPs, Council policies, strategies and management plans)

Development Control Plan No. 55 – Railway/Pacific Highway Corridor & St Ives Centre

Development control	Proposed	Complies
Part 3 Local context:		
Development adjacent to a heritage item:		
<input type="checkbox"/> 10m setback	10m	YES
<input type="checkbox"/> (1 st & 2 nd storeys)		
<input type="checkbox"/> 15m setback	12m	NO
<input type="checkbox"/> (3 rd & 4 th storeys)		
<input type="checkbox"/> No closer than heritage item from front boundary	Closer	NO
Part 4.1 Landscape design:		
Deep soil landscaping (min) 150m ² per 1000m ² of site area = 775m ²	1307m ² for tall tree planting	YES
No. of tall trees required (min): 17 trees	30 trees	YES
Part 4.2 Density:		
Building footprint (max): 35% of total site area	32%	YES
Floor space ratio (max): 1.3:1	1.3:1	YES
Part 4.3 Setbacks:		
Street boundary setback (min): 10-12 metres (<40% of the zone occupied by building footprint)	10m & <40%	YES
Rear boundary setback (min): 6m	5m (basement level 2)	NO
Side boundary setback (min): 6m	4m (corner of basement level 1 and 2)	NO
Setback of ground floor courtyards to street boundary (min): 8m/11m	8.4m	YES
% of total area of front setback occupied by private courtyards (max): 15%	10%	YES
Part 4.4 Built form and articulation:		
Façade articulation:		
<input type="checkbox"/> Wall plane depth >600mm	>600mm	YES
<input type="checkbox"/> Wall plane area <81m ²	<76m ²	YES
Built form:		
<input type="checkbox"/> Building width < 36m	47m (Building A) 53m (Building B)	NO NO
<input type="checkbox"/> Balcony projection < 1.2m	<1.2m	YES
Part 4.5 Residential amenity		
Solar access:		

<input type="checkbox"/> >70% of units receive 3+ hours direct sunlight in winter solstice	67%	NO
<input type="checkbox"/> >50% of the principle common open space of the development receives 3+ hours direct sunlight in the winter solstice	>50%	YES
<input type="checkbox"/> <15% of the total units are single aspect with a western orientation	14%	YES
Visual privacy: Separation b/w windows and balconies of a building and any neighbouring building on site or adjoining site: Storeys 1 to 4		
<input type="checkbox"/> 12m b/w habitable rooms	12m	YES
<input type="checkbox"/> 9m b/w habitable and non-habitable rooms	>9m	YES
<input type="checkbox"/> 6m b/w non-habitable rooms	N/A	N/A
5th Storey		
<input type="checkbox"/> 18m b/w habitable rooms	18m	YES
<input type="checkbox"/> 13m b/w habitable and non-habitable rooms	15m	YES
<input type="checkbox"/> 9m b/w non-habitable rooms	>9m	YES
Internal amenity:		
<input type="checkbox"/> Habitable rooms have a minimum floor to ceiling height of 2.7m	3m	YES
<input type="checkbox"/> Non-habitable rooms have a minimum floor to ceiling height of 2.4m	3m	YES
<input type="checkbox"/> 1-2 bedroom units have a minimum plan dimension of 3m in all bedroom	>3m	YES
<input type="checkbox"/> 3+ bedroom units have a minimum plan dimension of 3m in at least two bedrooms	>3m	YES
<input type="checkbox"/> Single corridors: - serve a maximum of 8 units - >1.5m wide - >1.8m wide at lift lobbies	5 units 1.5m 1.8m	YES YES YES
Outdoor living:		
<input type="checkbox"/> ground floor apartments have a terrace or private courtyard greater than 25m ² in area	>25m ²	YES
<input type="checkbox"/> Balcony sizes: - 10m ² – 1 bedroom unit - 12m ² – 2 bedroom unit - 15m ² – 3 bedroom unit	10m ² 10m ² (Units AG02,A102,B207,302,A30 3 and B07	YES NO
NB. At least one space >10m ²	>23m ²	YES
<input type="checkbox"/> primary outdoor space has a minimum dimension of 2.4m	2.4m	YES
Part 4.7 Social dimensions:		
Visitable units (min): 70%	71%	YES
Housing mix: Mix of sizes and types	Mix of 1, 2 and 3 bedroom units	YES
Part 4.8 Resource, energy and water efficiency:		

Energy efficiency: <input type="checkbox"/> >65% of units are to have natural cross ventilation <input type="checkbox"/> single aspect units are to have a maximum depth of 10m <input type="checkbox"/> 25% of kitchens are to have an external wall for natural ventilation and light	63%	YES
	<10m	YES
	14%	NO
Part 5 Parking and vehicular access:		
Car parking (min): 20 (visitors) 87(residents) 107 (total)	20 (visitor) 88 (resident) 108 (total)	YES YES YES

Part 3 Local context:

Development adjacent to a heritage item

15m setback (3rd & 4th storeys)

While not strictly adhering to the prescribed 15m setback at the upper level to the heritage item at 3 Womerah Street, the objective to not visually dominate a heritage item which is achieved through the 9 metre zone interface setback from the north boundary and the recommended substantial landscaping along the northern boundary (**Condition 21**). It should be noted that existing dense and substantial landscaping along the north boundary obscures views of this heritage item from the public domain. It is understood that existing tree planting will be retained as part of the proposal. While portions of its roof are visible, generally this building is visually contained by the tall masonry fence surrounding it.

No closer than heritage item from front boundary

Where a development is proposed adjacent to a heritage item, the building is to be aligned no closer than the heritage item from the front boundary. Building A is sited forward of the draft heritage item at 3 Womerah Street and does comply with the control. However, the proposed building location is acceptable in this instance given the eastern elevation of the item is constructed of glass and requires maximum separation from Building A. Amendments to the design based on Councils' Heritage Advisors' input have resulted in the built form being brought forward reducing the heritage items outlook to the communal areas of the site and not the built form of the RFB. Furthermore, a 4m wide vegetation screen with approximately ten large canopy trees proposed in the northern side setback area.

Regardless of the above non-compliance the development satisfies the 10m street setback control from the Pacific Highway and Womerah Street.

Part 4.3 Setbacks:

Side setback (basement)

Basements are required to satisfy the 6m side and rear setback to ensure a garden setting dominated by canopy trees is used to soften the development, with effective landscaping, adequate building separation to alleviate amenity impacts, improve natural ventilation and acoustic control.

The basement carpark ramp is located on the northern side boundary and is 4m from the side boundary, which is acceptable. However, a portion of Basement level 2 is located underneath the ramp and encroaches 2m into the side setback. Also, a small portion of the basement (store rooms and fire stairs) encroaches 1m into the rear setback area. This variation is minor and acceptable given that the basement will be located beneath natural ground level and will be indiscernible. Further, this non-compliance does not prevent the provision of a compliant quantum of deep soil landscaping within all setback areas, especially where large canopy trees on the northern boundary are proposed as a mitigation measure to break up the built form and provide a positive transition in building typologies between the RFB and the draft heritage item at 3 Womerah Street.

Given the above, it is considered reasonable to accept the variation to the setbacks control in the interest of achieving a positive design and amenity outcome.

Part 4.4 Built form and articulation:

Building width

The intention of building width is to encourage buildings which do not dominate the street and to encourage a predominance of landscape features. The proposed building is considered to be well articulated, achieves adequate setbacks from both street frontages as discussed above and is satisfactory with regard to rear setbacks.

Building A is 47m wide and fronts both Womerah Street and the Pacific Highway and Building B is 53m wide and does not front any roads, both buildings exceed the 36m control. Despite this, both buildings have been designed to follow the topography of the site, with the proposal being stepped down the site. Each building comprises two distinct elements which are well recessed by two foyer elements (per building) and inclusion of openings and balconies creating good relief to the western elevations of the buildings when viewed from the both Womerah Street and the Pacific Highway. The proposed buildings also incorporate a mixture of horizontal and vertical building elements and diversified materials choice that contributes to a good design outcome for the site. With increased landscaping being implemented in the zone interface areas, the proposed building will be situated within a well landscaped setting. The proposal is therefore acceptable in relation to the built form and articulation.

Part 4.5 Residential amenity:

Solar access

The rule of thumb requires living rooms and private open spaces for at least 70% of apartments to receive a minimum of 3 hours direct sunlight between 9 am and 3pm in mid-winter. The applicant indicates 67% is achieved which does not satisfy the control. In spite of this, 49% of the units achieve more than 4 hours of solar access.

The site has an east west orientation. This orientation would make it impossible for development to achieve the required 3 hours of solar access to the living rooms of 70% of apartments. Only the north facing apartments would be able to attain this required solar access. The proposal has been designed to maximise apartments with a northern orientation.

The proposal has been considered by Council's Urban Design Consultant in relation to design changes which could be undertaken to increase the solar amenity to apartments. This included changes to the apartments facing the streetscape and adjacent to heritage items. However, it is considered these design changes would reduce the articulation of the built form that currently contribute to minimising the built form of the proposal. In this circumstance the solar access is acceptable.

Part 4.6 Safety and security:

Apartments adjacent to public streets are required to have at least one window or a habitable room with an outlook to that area. Entries and common open space should be visible from public areas or apartments and lighting should be provided to increase visibility.

The site is broken into two distinct building elements and a number of through site links create a number of publicly accessible places. The public spaces lead to on-site surveillance opportunities 24 hours a day, 7 days a week.

Sight lines from the public spaces (roads and paths) are generally to the external outer edges of the proposed buildings, lobby spaces and the driveway entrance. The site lines are clear and are not overly complicated or blocked by landscaping through the key circulation areas, particularly between Building A and Building B.

Part 4.7 Social dimensions:

The proposed development will provide a variety of apartment types and sizes ranging from 18 x one bedroom, 55 x two bedroom and 6 x 3 bedroom apartments. The proposal will assist in the provision of a variety of residential accommodation for residents of the Turrumurra locality to downsize if desired.

Part 4.8 Resource, energy and water efficiency:

Where appropriate, construction materials with low environmental impacts are to be used during the construction phase of the development. The proposal retains, where possible, existing trees within the setback areas in order to maintain the tree canopy of Ku-ring-gai and to be consistent with the garden setting character of the locality. The development also proposes acceptable level of canopy tree replenishment which will increase the tree canopy of the locality.

A common garbage room and space for a waste collection vehicle is provided within the upper basement. A loading bay and adequate clearance within the basement is provided for a Council truck collection vehicle to collect garbage from the garbage room.

Part 5 Parking and vehicular access:

It is proposed to provide a total of 108 spaces on site, comprising 88 resident spaces and 20 visitor spaces and is acceptable.

Development Control Plan No. 31- Access (DCP 31)

The aim of DCP No. 31 is to ensure access for all to public buildings, community facilities and new developments, excluding dwelling houses and dual occupancies and to ensure that people with a disability have equal access to employment

opportunities by way of affording access to facilities, services and opportunities to meet their specific needs.

Matters for assessment under this DCP have been taken into account in the assessment of this application and the proposal is satisfactory in this regard. Furthermore, the design of the access has been justified through the submission of an accessibility report prepared by a qualified accessibility consultant. In this regard, the proposed development is assessed as satisfying the relevant matters for consideration in DCP 31.

Development Control Plan No. 47 – Water Management (DCP 47)

The provisions of DCP 47 require Council to consider, when assessing a development application, the design of the proposal against the specified criteria for water management. The comments of Council's Development Engineer provide a detailed assessment against these controls and conclude that the proposal is appropriately designed with regard to water management, DCP 47.

Section 94 Plan

The development attracts a section 94 contribution of \$1,135,815.70 which is required to be paid prior to the issue of the Construction Certificate (**Condition 43**).

LIKELY IMPACTS

The likely impacts of the development have been considered within this assessment report and are deemed to be acceptable.

SUITABILITY OF THE SITE

The site is zoned 'Residential 2 (d3)'. The site is therefore suitable for an appropriately designed residential flat building development.

ANY SUBMISSIONS

All submissions received have been considered in the assessment of this application.

OTHER MATTERS REQUIRING CONSIDERATION

Currently, a right of carriage way (ROW) exists to provide access for a neighboring property at 1187 Pacific Highway while burdening the access handle of 1189 Pacific Highway (part of the development site). The proposal is unlikely to affect access arrangements to the neighbouring site given two existing driveways access the property within its boundaries without relying on the ROW. A condition has been recommended which clearly states that the applicant is to respect the terms of the ROW unless amendments to it are approved by the benefiting lot (**Condition 95**).

PUBLIC INTEREST

The approval of the application is considered to be in the in the public interest.

CONCLUSION

Having regard to the provisions of section 79C of the Environmental Planning and Assessment Act 1979, the proposed development is considered to be satisfactory. Therefore, it is recommended that the application be approved, subject to a deferred commencement condition as outlined below.

RECOMMENDATION

PURSUANT TO SECTION 80(1) OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT, 1979

THAT the Sydney West Joint Regional Planning Panel, as the consent authority, is of the opinion that the objection under *State Environmental Planning Policy No. 1 – Development Standards* to Clause 25L of the Ku-ring-gai Planning Scheme Ordinance (Zone interface setback) is well founded. The Sydney West Joint Regional Planning Panel is also of the opinion that strict compliance with the development standard is unreasonable and unnecessary in the circumstances of this case.

That the Sydney West Joint Regional Planning Panel, being satisfied that the objection under State Environmental Planning Policy No. 1 is well founded and that strict compliance with the development standard in Clause 25L of the Ku-ring-gai Planning Scheme Ordinance is unreasonable and unnecessary in the circumstance of this case, grant deferred commencement development consent to Development Application DA0173/14 for the demolition of all structures and construction of a 5 storey residential development containing 79 units, with basement car parking and landscaping on land at 1189 to 1197 Pacific Highway and 1 to 1A Womerah Street Turramurra for a period of 2 years from the notice of determination, subject to the following terms in Schedule A and the conditions in Schedule B below.

Schedule A – Deferred Commencement terms

A. Drainage easement

The applicant shall submit documentary evidence that the property benefits from a drainage easement over the downstream properties as far as the public drainage system. This consent will not operate until the documentary evidence has been submitted to and approved by Council's Development Engineer.

Reason: To ensure that provision is made for stormwater drainage from the site in a proper manner that protects adjoining properties.

Schedule B –Conditions of consent

CONDITIONS THAT IDENTIFY APPROVED PLANS:

1. Approved architectural plans and documentation (new development)

The development must be carried out in accordance with the following plans and documentation listed below and endorsed with Council's stamp, except where

amended by other conditions of this consent:

Plan no.	Drawn by	Dated
DA000, Revision D, Cover page	PBD Architects	June 2015
DA001, Revision B, Demolition plan	PBD Architects	June 2015
DA100, Revision C, Basement level 2	PBD Architects	June 2015
DA101, Revision C, Basement level 1	PBD Architects	June 2015
DA102, Revision C, Ground floor plan	PBD Architects	23/10/2015
DA103, Revision C, Level 1 plan	PBD Architects	June 2015
DA104, Revision C, Level 2 plan	PBD Architects	June 2015
DA105, Revision C, Level 3 plan	PBD Architects	June 2015
DA106, Revision C, Level 4 plan	PBD Architects	June 2015
DA107, Revision B, Roof plan	PBD Architects	June 2015
DA200, Revision C, Building A-SW+NE elevation	PBD Architects	June 2015
DA201, Revision C, NW + SE elevation	PBD Architects	June 2015
DA202, Revision C, Building B-SW + NE elevation	PBD Architects	June 2015
DA300, Revision C, Section AA & BB	PBD Architects	June 2015
DA301, Revision C, Section CC & DD	PBD Architects	June 2015
DA302, Revision C, Longitudinal driveway section	PBD Architects	June 2015
DA400, Revision C, Material finishes	PBD Architects	June 2015
DA523, Revision B, Adaptable units	PBD Architects	June 2015
DA524, Revision C, Adaptable units	PBD Architects	June 2015
1ws/LP/01/C, Revision C, Landscape Plan: Ground floor	John Chetham & associates	27/10/2015
DA1.01, Revision 1, Civil design cover sheet drawing schedule and locality plan	Northrop	26/06/2015
DA2.01, Revision 1, Civil design concept sediment and erosion control plan	Northrop	26/06/2015

DA3.01, Revision 3, Civil design concept stormwater management plan	Northrop	26/10/2015
DA3.11, Revision 1, Civil design stormwater details	Northrop	26/06/2015
032032014DA, Revision C, Proposed easement plan	ING Consulting Engineers	1/03/2015
032032014DA, Revision C, Longitudinal Section and details	ING Consulting Engineers	1/03/2015

Document(s)	Dated
Basix certificate No. 542990m_03	02/07/2015
Integrated water cycle management strategy, prepared by Northrop (Revision A)	26/06/2015
Statement of Compliance Access for People with a Disability, prepared by Accessible Building Solutions	23/06/2015

Reason: To ensure that the development is in accordance with the determination.

CONDITIONS TO BE SATISFIED PRIOR TO DEMOLITION, EXCAVATION OR CONSTRUCTION:

2. Asbestos works

All work involving asbestos products and materials, including asbestos-cement-sheeting (ie. Fibro), must be carried out in accordance with the guidelines for asbestos work published by WorkCover Authority of NSW.

Reason: To ensure public safety

3. Notice of commencement

At least 48 hours prior to the commencement of any development (including demolition, excavation, shoring or underpinning works), a notice of commencement of building or subdivision work form and appointment of the principal certifying authority form shall be submitted to Council.

Reason: Statutory requirement.

4. Notification of builder's details

Prior to the commencement of any development or excavation works, the Principal Certifying Authority shall be notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.

Reason: Statutory requirement.

5. Dilapidation survey and report (public infrastructure)

Prior to the commencement of any development or excavation works on site, the Principal Certifying Authority shall be satisfied that a dilapidation report on the visible and structural condition of all structures of the following public infrastructure, has been completed and submitted to Council:

Public infrastructure

- Full road pavement width, including kerb and gutter, of Womerah Street over the site frontage, and Pacific Highway southbound.
- All driveway crossings and laybacks in Womerah Street opposite the subject site.

The report must be completed by a consulting structural/civil engineer. Particular attention must be paid to accurately recording (both written and photographic) existing damaged areas on the aforementioned infrastructure so that Council is fully informed when assessing any damage to public infrastructure caused as a result of the development.

The developer may be held liable to any recent damage to public infrastructure in the vicinity of the site, where such damage is not accurately recorded by the requirements of this condition prior to the commencement of works.

Note: A written acknowledgment from Council must be obtained (attesting to this condition being appropriately satisfied) and submitted to the Principal Certifying Authority prior to the commencement of any excavation works.

Reason: To record the structural condition of public infrastructure before works commence.

6. Archival recording of buildings

Prior to the commencement of any development or excavation works on site, the Principal Certifying Authority shall be satisfied that an archival report has been submitted to Council's Heritage Advisor.

The report must consist of an archival standard photographic record of the building (internally and externally), its garden and views of it from the street illustrating its relationship to neighbouring properties and the streetscape. Recording shall be undertaken in accordance with the guidelines for "Photographic Recording of Heritage Items Using Film or Digital Capture (2006)" prepared by the New South Wales Heritage Office.

Information shall be bound in an A4 report format. It shall include copies of photographs, referenced to plans of the site. Two (2) copies (one (1) copy to include negatives or CD of images shall be submitted to Council's Heritage Advisor. The recording document will be held in the local studies collection of Ku-ring-gai Library, the local historical society and Council's files.

Note: A written acknowledgment from Council must be obtained (attesting to this condition being appropriately satisfied) and submitted to the Principal Certifying Authority prior to the commencement of any works.

Reason: To ensure the Council has a record of the built environment of Ku-ring-gai prior to the urban consolidation of land in the local centres and to provide an archive for future research purposes.

7. Dilapidation survey and report (private property)

Prior to the commencement of any demolition or excavation works on site, the Principal Certifying Authority shall be satisfied that a dilapidation report on the visible and structural condition of all structures upon the following lands, has been completed and submitted to Council:

Address:

- 3 Womerah Street and 1187 Pacific Highway, Turramurra
- 12 and 14a Warrangi Street, Turramurra

The dilapidation report must include a photographic survey of adjoining properties detailing their physical condition, both internally and externally, including such items as walls ceilings, roof and structural members. The report must be completed by a consulting structural/geotechnical engineer as determined necessary by that professional based on the excavations for the proposal and the recommendations of the submitted geotechnical report.

In the event that access for undertaking the dilapidation survey is denied by a property owner, the applicant must demonstrate in writing to the satisfaction of the Principal Certifying Authority that all reasonable steps have been taken to obtain access and advise the affected property owner of the reason for the survey and that these steps have failed.

Note: A copy of the dilapidation report is to be provided to Council prior to any excavation works been undertaken. The dilapidation report is for record keeping purposes only and may be used by an applicant or affected property owner to assist in any civil action required to resolve any dispute over damage to adjoining properties arising from works.

Reason: To record the structural condition of likely affected properties before works commence.

8. Geotechnical report

Prior to the commencement of any bulk excavation works on site, the applicant shall submit to the Principal Certifying Authority, the results of the detailed geotechnical investigation comprising a minimum of four cored boreholes to at least 1 metre below the proposed basement level. The report is to address such matters as:

- appropriate excavation methods and techniques
- vibration management and monitoring
- dilapidation survey
- support and retention of excavated faces
- hydrogeological considerations

The recommendations of the report are to be implemented during the course of the works.

If dewatering is anticipated, a referral to NSW Office of Water should be made for a licence and any permanent basement tanking or waterproofing requirements.

Reason: To ensure the safety and protection of property.

9. Construction and traffic management plan

The applicant must submit to Council a Construction Traffic Management Plan (CTMP), which is to be approved prior to the commencement of any works on site.

The plan is to consist of a report with Traffic Control Plans attached.

The report is to contain commitments which must be followed by the demolition and excavation contractor, builder, owner and subcontractors. The CTMP applies to all persons associated with demolition, excavation and construction of the development.

The report is to contain construction vehicle routes for approach and departure to and from all directions.

The report is to contain a site plan showing entry and exit points. Swept paths are to be shown on the site plan showing access and egress for an 11 metre long heavy rigid vehicle.

The Traffic Control Plans are to be prepared by a qualified person (red card holder). One must be provided for each of the following stages of the works:

- Demolition
- Excavation
- Concrete pour
- Construction of vehicular crossing and reinstatement of footpath
- Traffic control for vehicles reversing into or out of the site.

Traffic controllers must be in place at the site entry and exit points to control heavy vehicle movements in order to maintain the safety of pedestrians and other road users.

When a satisfactory CTMP is received, a letter of approval will be issued with conditions attached. Traffic management at the site must comply with the approved CTMP as well as any conditions in the letter issued by Council. Council's Rangers will be patrolling the site regularly and fines may be issued for any non-compliance with this condition.

Reason: To ensure that appropriate measures have been considered during all phases of the construction process in a manner that maintains the environmental amenity and ensures the ongoing safety and protection of people.

10. Work zone

A Works Zone is to be provided in Womerah Street subject to the approval of the Kuring-gai Local Traffic Committee.

No loading or unloading must be undertaken from the public road or nature strip unless within a Works Zone which has been approved and paid for.

In the event the work zone is required for a period beyond that initially approved by the Traffic Committee, the applicant shall make a payment to Council for the extended period in accordance with Council's schedule of fees and charges for work zones prior to the extended period commencing.

Reason: To ensure that appropriate measures have been made for the operation of the site during the construction phase.

11. Sediment controls

Prior to any work commencing on site, sediment and erosion control measures shall be installed along the contour immediately downslope of any future disturbed areas.

The form of the sediment controls to be installed on the site shall be determined by reference to the Landcom manual 'Managing Urban Stormwater: Soils and Construction'. The erosion controls shall be maintained in an operational condition until the development activities have been completed and the site fully stabilised.

Sediment shall be removed from the sediment controls following each heavy or prolonged rainfall period.

Reason: To preserve and enhance the natural environment.

12. Erosion and drainage management

Earthworks and/or demolition of any existing buildings shall not commence until an erosion and sediment control plan is submitted to and approved by the Principal Certifying Authority. The plan shall comply with the guidelines set out in the NSW Department of Housing manual "Managing Urban Stormwater: Soils and Construction". Erosion and sediment control works shall be implemented in accordance with the erosion and sediment control plan.

Reason: To preserve and enhance the natural environment.

13. Tree protection fencing

To preserve the following tree/s, no work shall commence until the area beneath their canopy is fenced off at the specified radius from the trunk/s to prevent any activities, storage or the disposal of materials within the fenced area. The fence/s shall be maintained intact until the completion of all demolition/building work on site.

Schedule

Tree/Location	Radius in metres
Tree 1/ <i>Eucalyptus saligna</i> (Sydney Blue Gum) located at the northeast corner of the site	8m
Tree 3/ <i>Ilex cornuta</i> (Chinese Holly) located on the western front boundary of the site	3m
Tree 5/ <i>Lagerstroemia indica</i> (Crepe Myrtle) located on the eastern boundary of the site.	4.0m
Tree 9/ <i>Jacaranda mimosifolia</i> (Jacaranda) located on the southern boundary of the site, within the adjoining property	6m
<i>Fraxinus excelsior</i> 'Aurea' (Golden Ash) located on the southern boundary of the site, within the adjoining property	3m
<i>Pittosporum undulatum</i> (Sweet Pittosporum) located on the southern boundary of the site, within the adjoining property	3m
Tree 21/ <i>Cupressus glabra</i> (Arizona Cypress) The tree is located on the northern boundary strip	3.4m
Tree 22/ <i>Jacaranda mimosifolia</i> (Jacaranda) located on the southern boundary of the site, within the adjoining property	7.2m

Reason: To protect existing trees during the construction phase.

14. Tree protection fencing excluding structure

To preserve the following tree/s, no work shall commence until the area beneath their canopy excluding that area of the approved building/driveway shall be fenced off for the specified radius from the trunk to prevent any activities, storage or the disposal of materials within the fenced area. The fence/s shall be maintained intact until the completion of all demolition/building work on site:

Schedule

Tree/Location	Radius from trunk
Tree 2/ <i>Angophora floribunda</i> (Rough Barked Apple) located at the northeast corner of the site.	15m
Tree 6/ <i>Brachychiton acerifolius</i> (Flame Tree) located on the eastern boundary of the site.	3m
Tree 13/ <i>Liquidambar styraciflua</i> (Liquidambar) located on the front boundary, at the north western corner of the site.	9.6m
Tree 14/ <i>Jacaranda mimosifolia</i> (Jacaranda) located within the nature strip on Womerah Street.	4.7m

Reason: To protect existing trees during the construction phase.

15. Tree protective fencing type galvanised mesh

The tree protection fencing shall be constructed of galvanised pipe at 2.4 metre spacing and connected by securely attached chain mesh fencing to a minimum height of 1.8 metres in height prior to work commencing.

Reason: To protect existing trees during construction phase.

16. Tree protection signage

Prior to works commencing, tree protection signage is to be attached to each tree protection zone, displayed in a prominent position and the sign repeated at 10 metres intervals or closer where the fence changes direction. Each sign shall contain in a clearly legible form, the following information:

Tree protection zone.

- this fence has been installed to prevent damage to the trees and their growing environment both above and below ground and access is restricted
- any encroachment not previously approved within the tree protection zone shall be the subject of an arborist's report
- the arborist's report shall provide proof that no other alternative is available.
- the Arborist's report shall be submitted to the Principal Certifying Authority for further consultation with Council
- the name, address, and telephone number of the developer

Reason: To protect existing trees during the construction phase.

17. Tree fencing inspection

Upon installation of the required tree protection measures, an inspection of the site by the Principal Certifying Authority is required to verify that tree protection measures comply with all relevant conditions.

Reason: To protect existing trees during the construction phase.

18. Noise and vibration management plan

Prior to the commencement of any works, a noise and vibration management plan is to be prepared by a suitably qualified expert addressing the likely noise and vibration from demolition, excavation and construction of the proposed development and provided to the Principal Certifying Authority. The management plan is to identify amelioration measures to achieve the best practice objectives of AS 2436-2010 and NSW Department of Environment and Climate Change Interim Construction Noise Guidelines. The report shall be prepared in consultation with any geotechnical report that itemises equipment to be used for excavation works.

The management plan shall address, but not be limited to, the following matters:

- identification of the specific activities that will be carried out and associated noise sources
- identification of all potentially affected sensitive receivers, including residences, churches, commercial premises, schools and properties containing noise sensitive equipment
- the construction noise objective specified in the conditions of this consent
- the construction vibration criteria specified in the conditions of this consent
- determination of appropriate noise and vibration objectives for each identified sensitive receiver
- noise and vibration monitoring, reporting and response procedures
- assessment of potential noise and vibration from the proposed demolition, excavation and construction activities, including noise from construction vehicles and any traffic diversions
- description of specific mitigation treatments, management methods and procedures that will be implemented to control noise and vibration during construction
- construction timetabling to minimise noise impacts including time and duration restrictions, respite periods and frequency
- procedures for notifying residents of construction activities that are likely to affect their amenity through noise and vibration
- contingency plans to be implemented in the event of non-compliances and/or noise complaints

Reason: To protect the amenity afforded to surrounding residents during the construction process.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF THE CONSTRUCTION CERTIFICATE:

19. Building protection

Prior to the issue of a Construction Certificate, the Principal Certifying Authority shall be satisfied that all openings on the top floor (Level 4) have adequate protection from eaves, hoods, awnings and the like.

Reason: To minimise building maintenance costs

20. Noise control measures

Prior to commencement of any works the Principal Certifying Authority shall be satisfied that suitable acoustic measures have been employed in the design of the project to ensure that recommendations as provided for in the Environmental Noise Impact Assessment prepared by Acoustic Logic, dated 28/10/2015 as submitted with this application, and that the requirements of Section F Health and Amenity Clause F4.5 Ventilation of rooms of the Building Code of Australia are met.

Note: Plans, specifications and certifications of the proposed acoustic measures (including but not limited to acoustic barriers/screens) to achieve the recommendations of the Environmental Noise Impact Assessment prepared by Acoustic Logic are to be submitted for consideration and approval prior to the issue of the Construction Certificate:

Reason: To ensure adequate levels of health and amenity to the occupants of the building.

21. Amendments to approved landscape plan

Prior to the issue of a Construction Certificate, the Certifying Authority shall be satisfied that the approved landscape plans, listed below and endorsed with Council's stamp, have been amended in accordance with the requirements of this condition as well as other conditions of this consent:

Plan no.	Title	Drawn by	Dated
1WS/LP/01/C	Landscape Plan	John Chetham and Associates	27/10/15

The above landscape plan(s) shall be amended in the following ways:

1. The following tree is to be shown as retained and protected,

Schedule

Tree/Location

Tree 3/ *Ilex cornuta* (*Chinese Holly*) The tree is located on the western (front) boundary of the site

2. Existing screen planting along the site boundary adjoining heritage items are to be retained and protected in association with proposed plantings.
3. Existing camellias located along the front boundary of the development directly south of Tree 13 provide considerable existing amenity and should be shown to be retained and protected in association with proposed plantings.
4. The proposed planting of three (3) *Cupaniopsis* along the front setback is to be substituted with two (2) taller growing locally occurring trees such as *Eucalyptus saligna* (Sydney Blue Gum) or similar.
5. Stepping stone pavers greater than 1.2m in width are to be substituted with shrub/groundcover planting.

Prior to the issue of the Construction Certificate, the Principal Certifying Authority shall be satisfied that the amended landscape plan has been submitted as required by this condition.

Note: An amended landscape plan shall be submitted to the Certifying Authority.

Reason: To ensure that the development is in accordance with the determination.

22. Amendments to approved architectural plans

Prior to the issue of a Construction Certificate, the Certifying Authority shall be satisfied that the approved architectural plans, listed below and endorsed with Council's stamp, have been amended in accordance with the requirements of this condition as well as other conditions of this consent:

Plan no.	Title	Drawn by	Dated
DA102 Revision C	Ground floor plan and all other relevant plans and sections	PBD Architects	23/10/15
DA107, Revision B	Roof plan	PBD Architects	June 2015

The above architectural plan(s) shall be amended in the following ways:

1. To achieve the landscape objectives, the private courtyards to Apartments AG06, BG01 and BG10 are to be in accordance with the landscape plans.
2. The stepping footpath leading from Womerah Street to the northern portion of the site is to be changed to a 1 metre wide continuous path terminating at the entrance of Building B. The remainder of the path leading to the communal area in northeast corner of the site is to remain as a stepping footpath.
3. The roof plan is to include annotations identifying the air conditioning condensers and the visual screens screening them from the public domain.
4. Retaining walls: All walls that retain soil/fill are to be constructed as separate elements to all walls of Buildings A and B that accommodate dwellings or internal common spaces. No wall of a unit is to have adjacent ground levels above the proposed internal floor level. This is to minimise

the potential for moisture entering habitable rooms, service and storage areas of all ground floor units and thus avoid potentially costly future rectification works should a breach occur over time.

Prior to the issue of the Construction Certificate, the Principal Certifying Authority shall be satisfied that the amended architectural plan has been submitted as required by this condition.

Note: An amended architectural plan shall be submitted to the Certifying Authority.

Reason: To ensure that the development is in accordance with the determination.

23. Amendments to approved sediment and erosion control plan

Prior to the issue of a Construction Certificate, the Certifying Authority shall be satisfied that the approved sediment and erosion control plan, listed below and endorsed with Council's stamp, have been amended in accordance with the requirements of this condition as well as other conditions of this consent:

<i>Plan no.</i>	<i>Title</i>	<i>Drawn by</i>	<i>Dated</i>
DA2.01	Concept Sediment and Erosion Control Plan	Northrop	26/06/15

The above sediment and erosion control plan(s) shall be amended in the following ways:

1. The sediment fencing is to be relocated by condition to follow tree protection fencing of Trees 1 and 2.
2. Location of site buildings, temporary access and material handling areas are to be shown located outside of the TPZ of existing trees in accordance with recommendations in the arborist report.

Prior to the issue of the Construction Certificate, the Principal Certifying Authority shall be satisfied that the amended sediment and erosion control plan has been submitted as required by this condition.

Note: An amended sediment and erosion control plan shall be submitted to the Certifying Authority.

Reason: To ensure that the development is in accordance with the determination.

24. Long service levy

In accordance with Section 109F(i) of the Environmental Planning and Assessment Act a Construction Certificate shall not be issued until any long service levy payable under Section 34 of the Building and Construction Industry Long Service Payments Act 1986 (or where such levy is payable by instalments, the first instalment of the

levy) has been paid. Council is authorised to accept payment. Where payment has been made elsewhere, proof of payment is to be provided to Council.

Reason: Statutory requirement.

25. Builder's indemnity insurance

The applicant, builder, developer or person who does the work on this development, must arrange builder's indemnity insurance and submit the certificate of insurance in accordance with the requirements of Part 6 of the Home Building Act 1989 to the Certifying Authority for endorsement of the plans accompanying the Construction Certificate.

It is the responsibility of the applicant, builder or developer to arrange the builder's indemnity insurance for residential building work over the value of \$20,000. The builder's indemnity insurance does not apply to commercial or industrial building work or to residential work valued at less than \$20,000, nor to work undertaken by persons holding an owner/builder's permit issued by the Department of Fair Trading (unless the owner/builder's property is sold within 7 years of the commencement of the work).

Reason: Statutory requirement.

26. Outdoor lighting

Prior to the issue of a Construction Certificate, the Certifying Authority shall be satisfied that all outdoor lighting will comply with AS/NZ1158.3: 1999 Pedestrian Area (Category P) Lighting and AS4282: 1997 Control of the Obtrusive Effects of Outdoor Lighting.

Note: Details demonstrating compliance with these requirements are to be submitted prior to the issue of a Construction Certificate.

Reason: To provide high quality external lighting for security without adverse affects on public amenity from excessive illumination levels.

27. Air drying facilities

Prior to the issue of the Construction Certificate, the Certifying Authority shall be satisfied that a common open space area dedicated for open air drying of clothes is provided. This area is to be located at ground level behind the building line and in a position not visible from the public domain.

In lieu of the above, written confirmation that all units will be provided with internal clothes drying facilities prior to the Occupation Certificate is to be submitted to the Certifying Authority prior to the issue of the Construction Certificate.

Reason: Amenity & energy efficiency.

28. Access for people with disabilities (residential)

Prior to the issue of the Construction Certificate, the Certifying Authority shall be satisfied that access for people with disabilities to and from and between the public domain, residential units and all common open space areas is provided. Consideration must be given to the means of dignified and equitable access.

Compliant access provisions for people with disabilities shall be clearly shown on the plans submitted with the Construction Certificate. All details shall be provided to the Principal Certifying Authority prior to the issue of the Construction Certificate. All details shall be prepared in consideration of the Disability Discrimination Act, and the relevant provisions of AS1428.1, AS1428.2, AS1428.4 and AS 1735.12.

Reason: To ensure the provision of equitable and dignified access for all people in accordance with disability discrimination legislation and relevant Australian Standards.

29. Adaptable units

Prior to the issue of the Construction Certificate, the Certifying Authority shall be satisfied that the nominated adaptable units within the development application AG03,A103,A203,A303, BG02,B102,B202 and B302 are designed as adaptable housing in accordance with the provisions of Australian Standard AS4299-1995: Adaptable Housing.

Note: Evidence from an appropriately qualified professional demonstrating compliance with this control is to be submitted to and approved by the Certifying Authority prior to the issue of the Construction Certificate.

Reason: Disabled access & amenity.

30. Interallotment drainage design

Prior to issue of the Construction Certificate, the applicant must submit, for approval by the Principal Certifying Authority, full hydraulic design documentation for the required interallotment drainage system from the subject property to the approved point of discharge to the public drainage system. Plans are to be prepared by a suitably qualified and experienced consulting civil/hydraulic engineer in accordance with the Ku-ring-gai Development Control Plan and AS3500.3 (2003) Plumbing Code. New pipes within the downstream easement drainage system must be sized to have adequate capacity to carry uncontrolled runoff from the contributing catchment and an associated overland flow path is to be provided in the event of blockage of the interallotment line.

The following engineering details must be included:

- plan view of interallotment system to scale showing dimensions, location and reduced levels of all pits, grates, pipe inverts, flushing facilities and exact point of discharge
- the contributing catchment calculations and supporting pipe sizing information
- longitudinal section, showing existing ground levels and proposed pipe invert levels, grades and flow capacities
- surrounding survey detail, including all trees within 7 metres of the proposed interallotment drainage system

- means to preserve the root systems of trees within 7 metres of the drainage system

Reason: To ensure that satisfactory design of the interallotment drainage in accordance with relevant codes and Australian Standards.

31. Excavation for services

Prior to the issue of the Construction Certificate, the Principal Certifying Authority shall be satisfied that no proposed underground services (ie: water, sewerage, drainage, gas or other service) unless previously approved by conditions of consent, are located beneath the canopy of any tree protected under Council's Tree Preservation Order, located on the subject allotment and adjoining allotments.

Note: A plan detailing the routes of these services and trees protected under the Tree Preservation Order shall be submitted to the Principal Certifying Authority.

Reason: To ensure the protection of trees.

32. Noise from road

Prior to the issue of the Construction Certificate, the Certifying Authority shall submit evidence to Council demonstrating that the development will be acoustically designed and constructed to ensure that the following LAeq levels are not exceeded:

- (a) in any bedroom in the building—35 dB(A) at any time between 10 pm and 7 am,
- (b) anywhere else in the building (other than a garage, kitchen, bathroom or hallway)—40 dB(A) at any time.

Plans and specifications of the required acoustic design shall be prepared by a practicing acoustic engineer and shall be submitted to the Principal Certifying Authority.

Reason: To minimise the impact of noise from the adjoining road or rail corridor on the occupants of the development.

33. Noise from plant in residential zone

Where any form of mechanical ventilation equipment or other noise generating plant is proposed as part of the development, prior to the issue of the Construction Certificate the Certifying Authority, shall be satisfied that the operation of an individual piece of equipment or operation of equipment in combination will not exceed more than 5dB(A) above the background level during the day when measured at the site's boundaries and shall not exceed the background level at night

(10.00pm –6.00 am) when measured at the boundary of the site.

C1. Note: A certificate from an appropriately qualified acoustic engineer is to be submitted with the Construction Certificate, certifying that all mechanical ventilation equipment or other noise generating plant in isolation or in combination with other plant will comply with the above requirements.

Reason: To comply with best practice standards for residential acoustic amenity.

34. Driveway crossing levels

Prior to issue of the Construction Certificate, driveway and associated footpath levels for any new, reconstructed or extended sections of driveway crossings between the property boundary and road alignment must be obtained from Ku-ring-gai Council. Such levels are only able to be issued by Council under the Roads Act 1993. All footpath crossings, laybacks and driveways are to be constructed according to Council's specifications "Construction of Gutter Crossings and Footpath Crossings".

Specifications are issued with alignment levels after completing the necessary application form at Customer Services and payment of the assessment fee. When completing the request for driveway levels application from Council, the applicant must attach a copy of the relevant development application drawing which indicates the position and proposed level of the proposed driveway at the boundary alignment.

This development consent is for works wholly within the property. Development consent does not imply approval of footpath or driveway levels, materials or location within the road reserve, regardless of whether this information is shown on the development application plans. The grading of such footpaths or driveways outside the property shall comply with Council's standard requirements. The suitability of the grade of such paths or driveways inside the property is the sole responsibility of the applicant and the required alignment levels fixed by Council may impact upon these levels.

The construction of footpaths and driveways outside the property in materials other than those approved by Council is not permitted.

Reason: To provide suitable vehicular access without disruption to pedestrian and vehicular traffic.

35. Driveway grades - basement carports

Prior to the issue of the Construction Certificate, longitudinal driveway sections are to be prepared by a qualified civil/traffic engineer and be submitted for to and approved by the Certifying Authority. These profiles are to be at 1:100 scale along both edges of the proposed driveway, starting from the centreline of the frontage street carriageway to the proposed basement floor level. The traffic engineer shall provide specific written certification on the plans that:

- vehicular access can be obtained using grades of 20% (1 in 5) maximum and

- all changes in grade (transitions) comply with Australian Standard 2890.1 - "Off-street car parking" (refer clause 2.5.3) to prevent the scraping of the underside of vehicles.

If a new driveway crossing is proposed, the longitudinal sections must incorporate the driveway crossing levels as issued by Council upon prior application.

Reason: To provide suitable vehicular access without disruption to pedestrian and vehicular traffic.

36. Basement car parking details

Prior to issue of the Construction Certificate, certified parking layout plan(s) to scale showing all aspects of the vehicle access and accommodation arrangements must be submitted to and approved by the Certifying Authority. A qualified civil/traffic engineer must review the proposed vehicle access and accommodation layout and provide written certification on the plans that:

- all parking space dimensions, driveway and aisle widths, driveway grades, transitions, circulation ramps, blind aisle situations and other trafficked areas comply with Australian Standard 2890.1 - 2004 "Off-street car parking" the only traffic control measures which will be visible from the public domain are a single light and small sign (similar to the system at 22 Cowan Road St Ives).
- a clear height clearance of **2.6 metres** is provided over the designated garbage collection truck manoeuvring areas within the basement.
- no doors or gates are provided in the access driveways to the basement carpark which would prevent unrestricted access for internal garbage collection at any time from the basement garbage storage and collection area.
- the vehicle access and accommodation arrangements are to be constructed and marked in accordance with the certified plans.

Reason: To ensure that parking spaces are in accordance with the approved development.

37. Car parking allocation

Car parking within the development shall be allocated in the following way:

Resident car spaces	88
Visitor spaces	20
Total spaces	108

Each adaptable dwelling must be provided with car parking complying with the dimensional and location requirements of AS2890.1 - parking spaces for people with disabilities.

At least one visitor space shall also comply with the dimensional and location requirements of AS2890.1 - parking spaces for people with disabilities.

Consideration must be given to the means of access from disabled car parking spaces to other areas within the building and to footpath and roads and shall be clearly shown on the plans submitted with the Construction Certificate.

Reason: To ensure equity of access and appropriate facilities are available for people with disabilities in accordance with federal legislation.

38. Number of bicycle spaces

The basement car park shall be adapted to provide 24 bicycle spaces in accordance with DCP 55. The bicycle parking spaces shall be designed in accordance with AS2890.3. Details shall be submitted to the satisfaction of the Certifying Authority prior to the issue of a Construction Certificate.

Reason: To provide alternative modes of transport to and from the site.

39. Design of works in public road (Roads Act approval)

Prior to issue of the Construction Certificate, the Certifying Authority shall be satisfied that engineering plans and specifications prepared by a qualified consulting engineer have been approved by Council's Development Engineer. The plans to be assessed must be to a detail suitable for construction issue purposes and must detail the following infrastructure works required:

- installation of 375mm diameter reinforced concrete pipe to connect the interallotment drainage system with the public drainage system in Warrangi Street.
- construction of a raised central concrete median island in Womerah Street from the centreline of the intersection of Womerah Street and Pacific Highway, extending to the northern property boundary, as required by Roads and Maritime Services, to prevent the unsafe movement of southbound vehicles on Pacific Highway to access the site driving across the intersection of Womerah Street and Pacific Highway.

Development consent does not give approval to these works in the road reserve. The applicant must obtain a separate approval under sections 138 and 139 of The Roads Act 1993 for the works in the road reserve required as part of the development. The Construction Certificate must not be issued, and these works must not proceed until Council has issued a formal written approval under the Roads Act 1993.

The required plans and specifications are to be designed in accordance with the General Specification for the Construction of Road and Drainage Works in Ku-ring-gai Council, dated November 2004. The drawings must detail existing utility services and trees affected by the works, erosion control requirements and traffic management requirements during the course of works. Survey must be undertaken as required. Traffic management is to be certified on the drawings as being in accordance with the documents SAA HB81.1 - 1996 - Field Guide for Traffic Control at Works on Roads - Part 1 and RTA Traffic Control at Work Sites (1998). Construction of the works must proceed only in accordance with any conditions attached to the Roads Act approval issued by Council.

A minimum of three (3) weeks will be required for Council to assess the Roads Act application. Early submission of the Roads Act application is recommended to avoid delays in obtaining a Construction Certificate. An engineering assessment and inspection fee (set out in Council's adopted fees and charges) is payable and Council will withhold any consent and approved plans until full payment of the correct fees. Plans and specifications must be marked to the attention of Council's Development Engineers. In addition, a copy of this condition must be provided, together with a covering letter stating the full address of the property and the accompanying DA number.

Reason: To ensure that the plans are suitable for construction purposes.

40. Utility provider requirements

Prior to issue of the Construction Certificate, the applicant must make contact with all relevant utility providers whose services will be impacted upon by the development. A written copy of the requirements of each provider, as determined necessary by the Certifying Authority, must be obtained. All utility services or appropriate conduits for the same must be provided by the developer in accordance with the specifications of the utility providers.

Reason: To ensure compliance with the requirements of relevant utility providers.

41. Underground services

All electrical services (existing and proposed) shall be undergrounded from the proposed building on the site to the appropriate power pole(s) or other connection point. Undergrounding of services must not disturb the root system of existing trees and shall be undertaken in accordance with the requirements of the relevant service provided. Documentary evidence that the relevant service provider has been consulted and that their requirements have been met are to be provided to the Certifying Authority prior to the issue of the Construction Certificate. All electrical and telephone services to the subject property must be placed underground and any redundant poles are to be removed at the expense of the applicant.

Reason: To provide infrastructure that facilitates the future improvement of the streetscape by relocation of overhead lines below ground.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF THE CONSTRUCTION CERTIFICATE OR PRIOR TO DEMOLITION, EXCAVATION OR CONSTRUCTION (WHICHEVER COMES FIRST):

42. Infrastructure restorations fee

To ensure that damage to Council Property as a result of construction activity is rectified in a timely matter:

- a) All work or activity taken in furtherance of the development the subject of this approval must be undertaken in a manner to avoid damage to Council Property and must not jeopardise the safety of any person using or occupying the adjacent public areas.

- b) The applicant, builder, developer or any person acting in reliance on this approval shall be responsible for making good any damage to Council Property, and for the removal from Council Property of any waste bin, building materials, sediment, silt, or any other material or article.
- c) The Infrastructure Restoration Fee must be paid to the Council by the applicant prior to both the issue of the Construction Certificate and the commencement of any earthworks or construction.
- d) In consideration of payment of the Infrastructure Restorations Fee, Council will undertake such inspections of Council Property as Council considers necessary and also undertake, on behalf of the applicant, such restoration work to Council Property, if any, that Council considers necessary as a consequence of the development. The provision of such restoration work by the Council does not absolve any person of the responsibilities contained in (a) to (b) above. Restoration work to be undertaken by the Council referred to in this condition is limited to work that can be undertaken by Council at a cost of not more than the Infrastructure Restorations Fee payable pursuant to this condition.
- e) In this condition:

“Council Property” includes any road, footway, footpath paving, kerbing, guttering, crossings, street furniture, seats, letter bins, trees, shrubs, lawns, mounds, bushland, and similar structures or features on any road or public road within the meaning of the Local Government Act 1993 (NSW) or any public place; and

“Infrastructure Restoration Fee” means the Infrastructure Restorations Fee calculated in accordance with the Schedule of Fees & Charges adopted by Council as at the date of payment and the cost of any inspections required by the Council of Council Property associated with this condition.

Reason: To maintain public infrastructure.

43. Section 94 Development Contributions - Non-Centres

This development is subject to a development contribution calculated in accordance with Ku-ring-gai Contributions Plan 2010, being a s94 Contributions Plan in effect under the Environmental Planning and Assessment Act, as follows:

Key Community Infrastructure	Amount
Local parks and Local sporting facilities	\$969,845.05
Local recreational and cultural, Local social facilities	\$165,970.65
TOTAL CONTRIBUTIONS	<u>\$1,135,815.70</u>

The contribution shall be paid to Council prior to the issue of any Construction Certificate, Linen Plan, Certificate of Subdivision or Occupation Certificate whichever comes first in accordance with Ku-ring-gai Contributions Plan 2010.

The contributions specified above are as at the June 2015 quarter and are subject to indexation and will continue to be indexed to reflect changes in the consumer price index and housing price index until they are paid in accordance with Ku-ring-gai Contributions Plan 2010. Prior to payment, please contact Council directly to verify the current payable contributions.

Ku-ring-gai Contributions Plan 2010 may be viewed at www.kmc.nsw.gov.au and at the Council Chambers.

Reason: To ensure the provision, extension or augmentation of the Key Community Infrastructure identified in Ku-ring-gai Contributions Plan 2010 that will, or is likely to be, required as a consequence of the development.

CONDITIONS TO BE SATISFIED DURING THE DEMOLITION, EXCAVATION AND CONSTRUCTION PHASES:

44. Road opening permit

The opening of any footway, roadway, road shoulder or any part of the road reserve shall not be carried out without a road opening permit being obtained from Council (upon payment of the required fee) beforehand.

Reason: Statutory requirement (Roads Act 1993 Section 138) and to maintain the integrity of Council's infrastructure.

45. Prescribed conditions

The applicant shall comply with any relevant prescribed conditions of development consent under clause 98 of the Environmental Planning and Assessment Regulation. For the purposes of section 80A (11) of the Environmental Planning and Assessment Act, the following conditions are prescribed in relation to a development consent for development that involves any building work:

- The work must be carried out in accordance with the requirements of the Building Code of Australia
- In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, that such a contract of insurance is in force before any works commence.

Reason: Statutory requirement.

46. Hours of work

Demolition, excavation, construction work and deliveries of building material and equipment must not take place outside the hours of 7.00am to 5.00pm Monday to Friday and 8.00am to 12 noon Saturday. No work and no deliveries are to take place on Sundays and public holidays.

Excavation or removal of any materials using machinery of any kind, including compressors and jack hammers, must be limited to between 7.30am and 5.00pm Monday to Friday, with a respite break of 45 minutes between 12 noon 1.00pm.

Where it is necessary for works to occur outside of these hours (ie) placement of concrete for large floor areas on large residential/commercial developments or where building processes require the use of oversized trucks and/or cranes that are restricted by the RTA from travelling during daylight hours to deliver, erect or remove machinery, tower cranes, pre-cast panels, beams, tanks or service equipment to or from the site, approval for such activities will be subject to the issue of an "outside of hours works permit" from Council as well as notification of the surrounding properties likely to be affected by the proposed works.

Note: Failure to obtain a permit to work outside of the approved hours will result in on the spot fines being issued.

Reason: To ensure reasonable standards of amenity for occupants of neighbouring properties.

47. Approved plans to be on site

A copy of all approved and certified plans, specifications and documents incorporating conditions of consent and certification (including the Construction Certificate if required for the work) shall be kept on site at all times during the demolition, excavation and construction phases and must be readily available to any officer of Council or the Principal Certifying Authority.

Reason: To ensure that the development is in accordance with the determination.

48. Statement of compliance with Australian Standards

The demolition work shall comply with the provisions of Australian Standard AS2601: 2001 The Demolition of Structures. The work plans required by AS2601: 2001 shall be accompanied by a written statement from a suitably qualified person that the proposal contained in the work plan comply with the safety requirements of the Standard. The work plan and the statement of compliance shall be submitted to the satisfaction of the Principal Certifying Authority prior to the commencement of any works.

Reason: To ensure compliance with the Australian Standards.

49. Construction noise

During excavation, demolition and construction phases, noise generated from the site shall be controlled in accordance with the recommendations of the approved noise and vibration management plan.

Reason: To ensure reasonable standards of amenity to neighbouring properties.

50. Site notice

A site notice shall be erected on the site prior to any work commencing and shall be displayed throughout the works period.

The site notice must:

- be prominently displayed at the boundaries of the site for the purposes of informing the public that unauthorised entry to the site is not permitted
- display project details including, but not limited to the details of the builder, Principal Certifying Authority and structural engineer
- be durable and weatherproof
- display the approved hours of work, the name of the site/project manager, the responsible managing company (if any), its address and 24 hour contact phone number for any inquiries, including construction/noise complaint are to be displayed on the site notice
- be mounted at eye level on the perimeter hoardings/fencing and is to state that unauthorised entry to the site is not permitted

Reason: To ensure public safety and public information.

51. Dust control

During excavation, demolition and construction, adequate measures shall be taken to prevent dust from affecting the amenity of the neighbourhood. The following measures must be adopted:

- physical barriers shall be erected at right angles to the prevailing wind direction or shall be placed around or over dust sources to prevent wind or activity from generating dust
- earthworks and scheduling activities shall be managed to coincide with the next stage of development to minimise the amount of time the site is left cut or exposed
- all materials shall be stored or stockpiled at the best locations
- the ground surface should be dampened slightly to prevent dust from becoming airborne but should not be wet to the extent that run-off occurs
- all vehicles carrying spoil or rubble to or from the site shall at all times be covered to prevent the escape of dust
- all equipment wheels shall be washed before exiting the site using manual or automated sprayers and drive-through washing bays
- gates shall be closed between vehicle movements and shall be fitted with shade cloth
- cleaning of footpaths and roadways shall be carried out daily

Reason: To protect the environment and amenity of surrounding properties.

52. Post-construction dilapidation report

The applicant shall engage a suitably qualified person to prepare a post construction dilapidation report at the completion of the construction works. This report is to ascertain whether the construction works created any structural damage to adjoining buildings, infrastructure and roads. The report is to be submitted to the Principal Certifying Authority. In ascertaining whether adverse structural damage has occurred to adjoining buildings, infrastructure and roads, the Principal Certifying Authority must:

- compare the post-construction dilapidation report with the pre-construction dilapidation report

- have written confirmation from the relevant authority that there is no adverse structural damage to their infrastructure and roads.

A copy of this report is to be forwarded to Council at the completion of the construction works.

Reason: Management of records.

53. Further geotechnical input

The geotechnical and hydro-geological works implementation, inspection, testing and monitoring program for the excavation and construction works must be in accordance with the report by **JK Geotechnics dated 24 June 2015 and the report submitted prior to commencement of bulk excavation**. Over the course of the works, a qualified geotechnical/hydro-geological engineer must complete the following:

- further geotechnical investigations and testing recommended in the above report(s) and as determined necessary
- further monitoring and inspection at the hold points recommended in the above report(s) and as determined necessary
- written report(s) including certification(s) of the geotechnical inspection, testing and monitoring programs

Reason: To ensure the safety and protection of property.

54. Compliance with submitted geotechnical report

A contractor with specialist excavation experience must undertake the excavations for the development and a suitably qualified and consulting geotechnical engineer must oversee excavation.

Geotechnical aspects of the development work, namely:

- appropriate excavation method and vibration control
- support and retention of excavated faces
- hydro-geological considerations

must be undertaken in accordance with the recommendations of the geotechnical report prepared by **JK Geotechnics dated 24 June 2015 and the report submitted prior to commencement of bulk excavation**. Approval must be obtained from all affected property owners, including Ku-ring-gai Council, where rock anchors (both temporary and permanent) are proposed below adjoining property(ies).

If dewatering is anticipated, a referral to NSW Office of Water should be made for a licence and any permanent basement tanking or waterproofing requirements.

Reason: To ensure the safety and protection of property.

55. Toilet facilities

During excavation, demolition and construction phases, toilet facilities are to be provided, on the work site, at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.

Reason: Statutory requirement.

56. Construction signage

All construction signs must comply with the following requirements:

- are not to cover any mechanical ventilation inlet or outlet vent
- are not illuminated, self-illuminated or flashing at any time
- are located wholly within a property where construction is being undertaken
- refer only to the business(es) undertaking the construction and/or the site at which the construction is being undertaken
- are restricted to one such sign per property
- do not exceed 2.5m²
- are removed within 14 days of the completion of all construction works

Reason: To ensure compliance with Council's controls regarding signage.

57. Approval for rock anchors

Approval is to be obtained from the property owner for any anchors proposed beneath adjoining private property. If such approval cannot be obtained, then the excavated faces are to be shored or propped in accordance with the recommendations of the geotechnical and structural engineers.

Reason: To ensure the ongoing safety and protection of property.

58. Maintenance period for works in public road

A maintenance period of six (6) months applies to all work in the public road reserve carried out by the applicant - after the works have been completed to the satisfaction of Ku-ring-gai Council. In that maintenance period, the applicant shall be liable for any section of the public infrastructure work which fails to perform in the designed manner, or as would reasonably be expected under the operating conditions. The maintenance period shall commence once the applicant receives a formal letter from Council stating that the works involving public infrastructure have been completed satisfactorily.

Reason: To protect public infrastructure.

59. Road reserve safety

All public footways and roadways fronting and adjacent to the site must be maintained in a safe condition at all times during the course of the development works. Construction materials must not be stored in the road reserve. A safe pedestrian circulation route and a pavement/route free of trip hazards must be maintained at all times on or adjacent to any public access ways fronting the

construction site. Where public infrastructure is damaged, repair works must be carried out when and as directed by Council officers. Where pedestrian circulation is diverted on to the roadway or verge areas, clear directional signage and protective barricades must be installed in accordance with AS1742-3 (1996) "Traffic Control Devices for Work on Roads". If pedestrian circulation is not satisfactorily maintained across the site frontage, and action is not taken promptly to rectify the defects, Council may undertake proceedings to stop work.

Reason: To ensure safe public footways and roadways during construction.

60. Services

Where required, the adjustment or inclusion of any new utility service facilities must be carried out by the applicant and in accordance with the requirements of the relevant utility authority. These works shall be at no cost to Council. It is the applicants' full responsibility to make contact with the relevant utility authorities to ascertain the impacts of the proposal upon utility services (including water, phone, gas and the like). Council accepts no responsibility for any matter arising from its approval to this application involving any influence upon utility services provided by another authority.

Reason: Provision of utility services.

61. Temporary rock anchors

If the use of temporary rock anchors extending into the road reserve is proposed, then approval must be obtained from Council and/or the Roads and Traffic Authority in accordance with Section 138 of the Roads Act 1993. The Applicant is to submit details of all the work that is to be considered, and the works are not to commence until approval has been granted. The designs are to include details of the following:

- How the temporary rock anchors will be left in a way that they will not harm or interfere with any future excavation in the public road
- That the locations of the rock anchors are registered with Dial Before You Dig
- That approval of all utility authorities likely to use the public road has been obtained. All temporary rock anchors are located outside the allocations for the various utilities as adopted by the Streets Opening Conference.
- That any remaining de-stressed rock anchors are sufficiently isolated from the structure that they cannot damage the structure if pulled during future excavations or work in the public road.
- That signs will be placed and maintained on the building stating that de-stressed rock anchors remain in the public road and include a contact number for the building manager. The signs are to be at least 600mm x 450mm with lettering on the signs is to be no less than 75mm high. The signs are to be at not more than 60m spacing. At least one sign must be visible from all locations on the footpath outside the property. The wording on the signs is to be submitted to Council's Director Technical Services for approval before any signs are installed.

Permanent rock anchors are not to be used where any part of the anchor extends outside the development site into public areas or road reserves.

All works in the public road are to be carried out in accordance with the Conditions of Construction issued with any approval of works granted under Section 138 of the Roads Act 1993.

Reason: To ensure the ongoing safety and protection of property.

62. Erosion control

Temporary sediment and erosion control and measures are to be installed prior to the commencement of any works on the site. These measures must be maintained in working order during construction works up to completion. All sediment traps must be cleared on a regular basis and after each major storm and/or as directed by the Principal Certifying Authority and Council officers.

Reason: To protect the environment from erosion and sedimentation.

63. Sydney Water Section 73 Compliance Certificate

The applicant must obtain a **Section 73 Compliance Certificate** under the *Sydney Water Act 1994*. An application must be made through an authorised Water Servicing CoOrdinator. The applicant is to refer to "Your Business" section of Sydney Water's web site at www.sydneywater.com.au <<http://www.sydneywater.com.au>> then the "e-develop" icon or telephone 13 20 92. Following application a "Notice of Requirements" will detail water and sewer extensions to be built and charges to be paid. Please make early contact with the CoOrdinator, since building of water/sewer extensions can be time consuming and may impact on other services and building, driveway or landscape design.

Reason: Statutory requirement.

64. Project arborist

A suitably qualified project arborist (AQF level 5) is to be engaged to advise the Principal Certifying Authority on the protection of trees at the site and to supervise the installation and maintenance of tree protection measures required by this consent.

Prior to the commencement of any works including demolition on the site in areas required to be protected by this consent, the project arborist shall inspect the site and satisfy himself/herself that the protection measures are in accordance with the approved design and must provide a written certification to the Principal Certifying Authority to that effect.

If not satisfied, the project arborist must provide to the Principal Certifying Authority a list of works that are to be completed to ensure compliance with all conditions of consent relating to the protection of trees at the site. Those works must be undertaken to the satisfaction of the project arborist.

Reason: To ensure protection of existing trees

65. Arborist's report

All trees to be retained shall be inspected and monitored by an AQF Level 5 Arborist in accordance with AS4970-2009 during and after completion of development works to ensure their long term survival. Regular inspections and documentation from the project arborist to the Principal Certifying Authority are required during all works within the canopy spread of all existing trees on site and overhanging from adjoining sites, including date, brief description of the works inspected, and any mitigation works prescribed.

All monitoring shall be provided to the Principal Certifying Authority prior to issue of the Occupation Certificate.

All works as recommended by the project arborist are to be undertaken by an experienced arborist with a minimum AQF Level 3 qualification.

Reason: To ensure protection of existing trees.

66. Trees on nature strip

Pruning of the following tree/s from Council's nature strip to permit vehicular access shall be undertaken at no cost to Council by an experienced tree removal contractor/arborist holding public liability insurance amounting to a minimum cover of \$10,000,000:

Schedule

Tree/Location

Tree 14/ *Jacaranda mimosifolia* (Jacaranda) located within the nature strip on Womerah Street.

Reason: To ensure protection of existing trees.

67. Canopy/root pruning

Canopy and/or root pruning of the following tree/s which is necessary to accommodate the approved building works shall be undertaken by an experienced Arborist/Horticulturist, with a minimum qualification of the Horticulture Certificate or Tree Surgery Certificate. All pruning works shall be undertaken as specified in Australian Standard 4373-2007 - Pruning of Amenity Trees.

Schedule

Tree/Location

Tree 2/ *Angophora floribunda* (Rough Barked Apple) located at the northeast corner of the site

Tree 3/ *Ilex cornuta* (Chinese Holly) located on the western front boundary of the site

Tree 6/ *Brachychiton acerifolius* (Flame Tree) located on the eastern boundary of

Tree works

Minor root pruning

Minor root and canopy pruning to provide clearance to path

Minor root pruning and canopy pruning to provide building clearance

the site.

Tree 9/ *Jacaranda mimosifolia*
(Jacaranda) located on the southern
boundary of the site, within the adjoining
property

Minor root pruning

Tree 13/ *Liquidambar styraciflua*
(*Liquidambar*) located on the front
boundary, at the north western corner of
the site

Minor root pruning and canopy pruning
to provide building clearance

Tree 14/ *Jacaranda mimosifolia*
(Jacaranda) located within the nature
strip on Womerah Street.

Minor root pruning and canopy pruning
to provide vehicle clearance

Reason: To protect the environment.

68. Treatment of tree roots

If tree roots are required to be severed for the purposes of constructing the approved works, they shall be cut cleanly by hand, by an experienced Arborist/Horticulturist with a minimum qualification of Horticulture Certificate or Tree Surgery Certificate. All pruning works shall be undertaken as specified in Australian Standard 4373-2007 – Pruning of Amenity Trees.

Reason: To protect existing trees.

69. Excavation near trees

No mechanical excavation shall be undertaken within the specified radius of the trunk/s of the following tree/s until root pruning by hand along the perimeter line of such works is completed:

Schedule

Tree/Location	Radius from trunk
Tree 2/ <i>Angophora floribunda</i> (Rough Barked Apple) located at the northeast corner of the site	15m
Tree 3/ <i>Ilex cornuta</i> (<i>Chinese Holly</i>) located on the western front boundary of the site	3m
Tree 6/ <i>Brachychiton acerifolius</i> (<i>Flame Tree</i>) located on the eastern boundary of the site.	3m
Tree 9/ <i>Jacaranda mimosifolia</i> (Jacaranda) located on the southern boundary of the site, within the adjoining property	8.4m
Tree 13/ <i>Liquidambar styraciflua</i> (<i>Liquidambar</i>) located on the front boundary, at the north western corner of the site	9.6m
Tree 14/ <i>Jacaranda mimosifolia</i> (Jacaranda) located within the nature strip on Womerah Street.	4.7m

Reason: To protect existing trees.

70. Hand excavation

All excavation, except for the basement and driveway ramp, within the specified radius of the trunk(s) of the following tree(s) shall be hand dug:

Schedule

Tree/Location	Radius from trunk
Tree 2/ <i>Angophora floribunda</i> (Rough Barked Apple) located at the northeast corner of the site	15m
Tree 3/ <i>Ilex cornuta</i> (Chinese Holly) located on the western front boundary of the site	3m
Tree 6/ <i>Brachychiton acerifolius</i> (Flame Tree) located on the eastern boundary of the site.	3m
Tree 9/ <i>Jacaranda mimosifolia</i> (Jacaranda) located on the southern boundary of the site, within the adjoining property	8.4m
Tree 13/ <i>Liquidambar styraciflua</i> (Liquidambar) located on the front boundary, at the north western corner of the site	9.6m
Tree 14/ <i>Jacaranda mimosifolia</i> (Jacaranda) located within the nature strip on Womerah Street.	4.7m

Reason: To protect existing trees.

71. No storage of materials beneath trees

No activities, storage or disposal of materials shall take place beneath the canopy of any tree protected under Council's Tree Preservation Order at any time.

Reason: To protect existing trees.

72. Tree planting on nature strip

The following tree species shall be planted, at no cost to Council, in the nature strip fronting the property along (enter street). The tree/s used shall be a minimum 25 litres container size specimen/s:

Schedule

Tree/Species	Quantity	Location
<i>Tristania laurina</i> (Water Gum)	2	Pacific Highway

Reason: To provide appropriate landscaping within the streetscape.

73. Removal of refuse

All builders' refuse, spoil and/or material unsuitable for use in landscape areas shall be removed from the site on completion of the building works.

Reason: To protect the environment.

74. Canopy replenishment trees to be planted

The canopy replenishment trees to be planted shall be maintained in a healthy and vigorous condition until they attain a height of 5.0 metres whereby they will be protected by Council's Tree Preservation Order. Any of the trees found faulty, damaged, dying or dead shall be replaced with the same species.

Reason: To maintain the treed character of the area.

75. Survey and inspection of waste collection clearance and path of travel

At the stage when formwork for the ground floor slab is in place and prior to concrete being poured, a registered surveyor is to:

- ascertain the reduced level of the underside of the slab at the driveway entry,
- certify that the level is not lower than the level shown on the approved DA plans; and
- certify that the minimum headroom of 2.6 metres will be available for the full path of travel of the small waste collection vehicle from the street to the collection area.
- This certification is to be provided to Council's Development Engineer prior to any concrete being poured for the ground floor slab.
- No work is to proceed until Council has undertaken an inspection to determine clearance and path of travel.

At the stage when formwork for the ground floor slab is in place and prior to concrete being poured, Council's Development Engineer and Manager Waste Services are to carry out an inspection of the site to confirm the clearance available for the full path of travel of the small waste collection vehicle from the street to the collection area. This inspection may not be carried out by a private certifier because waste management is not a matter listed in Clause 161 of the Environmental Planning and Assessment Regulation 2000.

Reason: To ensure access will be available for Council's contractors to collect waste from the collection point.

76. On site retention of waste dockets

All demolition, excavation and construction waste dockets are to be retained on site, or at suitable location, in order to confirm which facility received materials generated from the site for recycling or disposal.

- Each docket is to be an official receipt from a facility authorised to accept the material type, for disposal or processing.
- This information is to be made available at the request of an Authorised Officer of Council.

Reason: To protect the environment.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE:

77. Mechanical ventilation

Following completion, installation and testing of all the mechanical ventilation systems, the Principal Certifying Authority shall be satisfied of the following prior to the issue of any Occupation Certificate:

1. The installation and performance of glazing assemblies, mechanical systems complies with the recommendations as provided for in the Noise Assessment prepared by Acoustic Logic, (Project Number 20131193.1) as submitted with this application and/or as applicable compliance with:
 - The Building Code of Australia including but not limited to Section F
 - Health and Amenity Clause F4.5 Ventilation of rooms
 - Australian Standard AS1668
 - Australian Standard AS3666 where applicable
2. The mechanical ventilation system in isolation and/or in association with other noise generating plant when in operation will not exceed more than 5dB(A) above the background level during the day when measured at the nearest residential property boundary and will not be audible before 7am and after 10pm Monday to Friday and before 8am and after 10pm Saturday, Sunday and public holidays when measured at the nearest residential property boundary.

Note: Written confirmation, including a report from an acoustic engineer, that the development achieves the above requirements is to be submitted to the Principal Certifying Authority prior to the issue of the Occupation Certificate.

Reason: Statutory requirement and to protect the amenity of surrounding properties.

78. Easement for waste collection

Prior to the issue of the Occupation Certificate, an easement for waste collection is to be created under Section 88B of the Conveyancing Act 1919. The terms of the easement are to be generally in accordance with Council's draft terms for an easement for waste collection and shall be to the satisfaction of Council's Development Engineer.

Reason: To permit legal access for Council, Council's contractors and their vehicles over the subject site for waste collection.

79. Lot amalgamation

Prior to the issue of an occupation certificate, the Principal Certifying Authority is to be satisfied that Lot 1 in DP220195, Lot 2 in DP220195, Lot 3 in DP220195 and Lot 1

in DP233452 have been amalgamated and registered by NSW Land & Property Information.

Reason: To ensure orderly development of the site.

80. Compliance with BASIX certificate

All commitments listed in the relevant BASIX Certificate for the development must be fulfilled prior to an Occupation Certificate being issued.

Reason: Statutory Requirement

81. Mechanical ventilation

Following completion, installation and testing of all the mechanical ventilation systems, the Principal Certifying Authority shall be satisfied of the following prior to the issue of any Occupation Certificate:

1. The installation and performance of the mechanical systems complies with:
 - The Building Code of Australia
 - Australian Standard AS1668
 - Australian Standard AS3666 where applicable
2. The mechanical ventilation system in isolation and in association with other mechanical ventilation equipment, when in operation will not be audible within a habitable room in any other residential premises before 7am and after 10pm Monday to Friday and before 8am and after 10pm Saturday, Sunday and public holidays. The operation of the unit outside these restricted hours shall emit a noise level of not greater than 5dbA above the background when measured at the nearest adjoining boundary.

Note: Written confirmation from an acoustic engineer that the development achieves the above requirements is to be submitted to the Principal Certifying Authority prior to the issue of the Occupation Certificate.

Reason: To protect the amenity of surrounding properties.

82. Completion of landscape works

Prior to the release of the Occupation Certificate, the Principal Certifying Authority is to be satisfied that all landscape works, including the removal of all noxious and/or environmental weed species, have been undertaken in accordance with the approved plan(s) and conditions of consent.

Reason: To ensure that the landscape works are consistent with the development consent.

83. Completion of tree works

Prior to the release of the Occupation Certificate, the Principal Certifying Authority is to be satisfied that all tree works, including pruning in accordance with AS4373-2007

or remediation works in accordance with AS4370-2009, have been undertaken in accordance with the approved plan(s) and conditions of consent.

Reason: To ensure that the tree works are consistent with the development consent.

84. Accessibility

Prior to the issue of an Occupation Certificate, the Principal Certifying Authority shall be satisfied that:

- the lift design and associated functions are compliant with AS 1735.12 & AS 1428.2
- the level and direction of travel, both in lifts and lift lobbies, is audible and visible
- the controls for lifts are accessible to all persons and control buttons and lettering are raised
- international symbols have been used with specifications relating to signs, symbols and size of lettering complying with AS 1428.2
- the height of lettering on signage is in accordance with AS 1428.1 – 1993
- the signs and other information indicating access and services incorporate tactile communication methods in addition to the visual methods

Reason: Disabled access & services.

85. Certification of drainage works

Prior to issue of the Occupation Certificate, the Principal Certifying Authority is to be satisfied that:

- the stormwater drainage works have been satisfactorily completed in accordance with the approved Construction Certificate drainage plans
- the minimum retention and on-site detention storage volume requirements of BASIX and Ku-ring-gai Water Management Development Control Plan No. 47 respectively, have been achieved
- retained water is connected and available for use
- all grates potentially accessible by children are secured
- components of the new drainage system have been installed by a licensed plumbing contractor in accordance with the Plumbing and Drainage Code AS3500.3 2003 and the Building Code of Australia
- all enclosed floor areas, including habitable and garage floor levels, are safeguarded from outside stormwater runoff ingress by suitable differences in finished levels, gradings and provision of stormwater collection devices

Note: Evidence from a qualified and experienced consulting civil/hydraulic engineer documenting compliance with the above is to be provided to Council prior to the issue of an Occupation Certificate.

Reason: To protect the environment.

86. WAE plans for stormwater management and disposal

Prior to issue of the Occupation Certificate, a registered surveyor must provide a works as executed survey of the completed stormwater drainage and management systems. The survey must be submitted to and approved by the Principal Certifying Authority prior to issue of the Occupation Certificate. The survey must indicate:

- as built (reduced) surface and invert levels for all drainage pits
- gradients of drainage lines, materials and dimensions
- as built (reduced) level(s) at the approved point of discharge to the public drainage system
- as built location and internal dimensions of all detention and retention structures on the property (in plan view) and horizontal distances to nearest adjacent boundaries and structures on site
- the achieved storage volumes of the installed retention and detention storages and derivative calculations
- as built locations of all access pits and grates in the detention and retention system(s), including dimensions
- the size of the orifice or control fitted to any on-site detention system
- dimensions of the discharge control pit and access grates
- the maximum depth of storage possible over the outlet control
- top water levels of storage areas and indicative RL's through the overland flow path in the event of blockage of the on-site detention system

The works as executed plan(s) must show the as built details above in comparison to those shown on the drainage plans approved with the Construction Certificate prior to commencement of works. All relevant levels and details indicated must be marked in red on a copy of the Principal Certifying Authority stamped construction certificate stormwater plans.

Reason: To protect the environment.

87. OSD positive covenant/restriction

Prior to issue of the Occupation Certificate, the applicant must create a positive covenant and restriction on the use of land under Section 88E of the Conveyancing Act 1919, burdening the owner with the requirement to maintain the on-site stormwater detention facilities on the lot.

The terms of the instruments are to be generally in accordance with the Council's "draft terms of Section 88B instrument for protection of on-site detention facilities" and to the satisfaction of Council (refer to appendices of Ku-ring-gai Council Water Management DCP 47). For existing titles, the positive covenant and the restriction on the use of land is to be created through an application to the Land Titles Office in the form of a request using forms 13PC and 13RPA. The relative location of the on-site detention facility, in relation to the building footprint, must be shown on a scale sketch, attached as an annexure to the request forms.

Registered title documents, showing the covenants and restrictions, must be submitted and approved by the Principal Certifying Authority prior to issue of an Occupation Certificate.

Reason: To protect the environment.

88. Easement drainage line construction

Prior to issue of the Occupation Certificate, the Principal Certifying Authority shall be satisfied that the required interallotment drainage system has been installed and surveyed under the supervision of a designing engineer or equivalent professional.

Note: At the completion of the interallotment works, the following must be submitted to the Principal Certifying Authority for approval:

- details from the supervising engineer that the as-constructed works comply with the approved interallotment design documentation.
- a full works as executed drawing of the as built interallotment drainage line (dimensions, grades, materials, invert levels) prepared by a registered surveyor, and details from the surveyor that all drainage structures are wholly contained within existing drainage easement(s).

Reason: To protect the environment.

89. Sydney Water Section 73 Compliance Certificate

Prior to issue of an Occupation Certificate the Section 73 Sydney water Compliance Certificate must be obtained and submitted to the Principal Certifying Authority

Reason: Statutory requirement.

90. Certification of as-constructed driveway/carpark

Prior to issue of an Occupation Certificate, the Principal Certifying Authority is to be satisfied that:

- the as-constructed car park complies with the approved Construction Certificate plans
- the only traffic control measures visible from the public domain are a single light and small sign (similar to the system at 22 Cowan Road St Ives)
- the completed vehicle access and accommodation arrangements comply with Australian Standard 2890.1 - 2004 "Off-Street car parking" in terms of minimum parking space dimensions
- finished driveway gradients and transitions will not result in the scraping of the underside of cars
- no doors, gates, grilles or other structures have been provided in the access driveways to the basement carpark, which would prevent unrestricted access for internal garbage collection from the basement garbage storage and collection area
- the vehicular headroom requirements of:
 - Australian Standard 2890.1 - "Off-street car parking",
 - **2.6 metres** height clearance for waste collection trucks are

met from the public street into and within the applicable areas of the basement carpark.

Note: Evidence from a suitably qualified and experienced traffic/civil engineer indicating compliance with the above is to be provided to and approved by the Principal Certifying Authority prior to the issue of an Occupation Certificate.

Reason: To ensure that vehicular access and accommodation areas are compliant with the consent.

91. Reinstatement of redundant crossings and completion of infrastructure works

The redundant driveways on Pacific Highway shall be removed and replaced with kerb and gutter to match existing.

The design and construction of the kerb and gutter on Pacific Highway shall be in accordance with Roads and Maritime requirements. Details of these requirements should be obtained from Roads and Maritime Project Services Manager, Traffic Projects Section, Parramatta (telephone 8849 2496).

Detailed design plans of the proposed gutter crossing are to be submitted to Roads and Maritime Services for approval prior to the commencement of any roadworks.

A plan checking fee (amount to be advised) and lodgment of a performance bond may be required from the applicant prior to the release of the approved road design plans by Roads and Maritime.

Prior to issue of the Occupation Certificate, the Principal Certifying Authority must be satisfied that he or she has received a signed inspection form from Council which states that the following works in the road reserve have been completed:

- new concrete driveway crossing in accordance with levels and specifications issued by Council
- removal of all redundant driveway crossings and kerb laybacks (or sections thereof) and reinstatement of these areas to footpath, turfed verge and upright kerb and gutter (reinstatement works to match surrounding adjacent infrastructure with respect to integration of levels and materials)
- full repair and resealing of any road surface damaged during construction
- full replacement of damaged sections of grass verge to match existing

This inspection may not be carried out by the Private Certifier because restoration of Council property outside the boundary of the site is not a matter listed in Clause 161 of the Environmental Planning and Assessment Regulation 2000.

All works must be completed in accordance with the General Specification for the Construction of Road and Drainage Works in Ku-ring-gai Council, dated November 2004. The Occupation Certificate must not be issued until all damaged public infrastructure caused as a result of construction works on the subject site (including damage caused by, but not limited to, delivery vehicles, waste collection, contractors, sub contractors, concrete vehicles) is fully repaired to the satisfaction of Council. Repair works shall be at no cost to Council.

Reason: To protect the streetscape and to comply with Roads and Maritime Services requirements.

92. Construction of works in public road - approved plans

Prior to issue of the Occupation Certificate, the Principal Certifying Authority must be satisfied that all approved road, footpath and/or drainage works have been completed in the road reserve in accordance with the Council Roads Act approval and accompanying drawings, conditions and specifications.

The works must be supervised by the applicant's designing engineer and completed and approved to the satisfaction of Ku-ring-gai Council.

The supervising consulting engineer is to provide certification upon completion that the works were constructed in accordance with the Council approved stamped drawings. The works must be subject to inspections by Council at the hold points noted on the Roads Act approval. All conditions attached to the approved drawings for these works must be met prior to the Occupation Certificate being issued.

Reason: To ensure that works undertaken in the road reserve are to the satisfaction of Council.

93. Fire safety certificate

Prior to the issue of the Occupation Certificate, the Principal Certifying Authority shall be satisfied that a Fire Safety Certificate for all the essential fire or other safety measures forming part of this consent has been completed and provided to Council.

Note: A copy of the Fire Safety Certificate must be submitted to Council.

Reason: To ensure suitable fire safety measures are in place.

CONDITIONS TO BE SATISFIED AT ALL TIMES:

94. Offensive noise

Any noise generating equipment shall not give rise to an offensive noise as defined in the Protection of the Environment Operations Act 1997. All plant/mechanical ventilation systems shall be provided with suitable sound attenuation equipment designed by a practicing Acoustic Engineer so that when in operation the operation of the plant does not give rise to offensive noise.

Reason: To comply with best practice standards for acoustic amenity.

95. Encroachment over burdens

At all times for the life of the approved development, no part of any structure shall encroach over any easement and no loadings shall be imposed to utilities within any easement unless approved by the owner(s) appurtenant to the burden.

This development consent does not set aside or affect in any way the exercise of any rights-at-law which may be conferred upon any parties by the existence and/or terms of the grant of any easements or rights-of-carriageway on or over the subject lot(s). It is the applicant's full responsibility to ensure that any rights-at-law are investigated and upheld. Council accepts no responsibility whatsoever, at any time, for any claim for any matter or thing arising from its approval to this application involving any encroachment or other influence upon any easement or right-of-carriageway.

The applicant's attention is directed to the rights of persons benefited by any easement or right-of-carriageway concerning the entry and breaking up of a structure approved by this consent. In the event that such a structure causes damage, blockage or other thing requiring maintenance to infrastructure within the easement or right-of-carriageway, or access is required to carry out maintenance, Council accepts no responsibility in this regard.

Reason: To ensure compliance with the development consent.

96. No door restricting internal waste collection in basement

At all times, the basement garbage storage and collection area is to be accessible by Council's Waste Collection Services. No doors, grilles, gates or other devices shall be provided in any location which would prevent this service. Where a gate, door or the like is to be erected, unimpeded access to the garbage collection point is to be provided by other means through written agreement with Council's Waste Collection Services.

Reason: To facilitate access to the garbage collection point.

**Scott McInnes, Executive Assessment
Officer**

**Richard Kinninmont,
Team Leader Development Assessment**

**Corrie Swanepoel
Manager Development Assessment**

**Michael Miocic
Director Development and Regulation**

Attachments:

1. Location Sketch
2. Ku-ring-gai Planning
Scheme Zoning Extract
3. SEPP 1 Objection
4. Survey Plans
5. Architectural Plans

Reference

[2015/300279](#)

[2015/300698](#)

[2015/165918](#)

[2014/120314](#)

6. Stormwater easement plans	<u>2015/086804</u> <u>2015/086803</u>
7. Statement of Heritage Impact	<u>2015/165912</u>
8. Access Review	<u>2015/165891</u>

Item 2
JRPP 2014SYW078
DA0037/14
1189-1197 Pacific
Highway
And
1-1A Womerah Street
Turramurra
Supporting Documents

LOCATION SKETCH

1189-1197 Pacific Highway & 1-1A Womerah Street TURRAMURRA NSW 2074
DEVELOPMENT APPLICATION No. DA0173/14



DATE: 09 Nov 2015

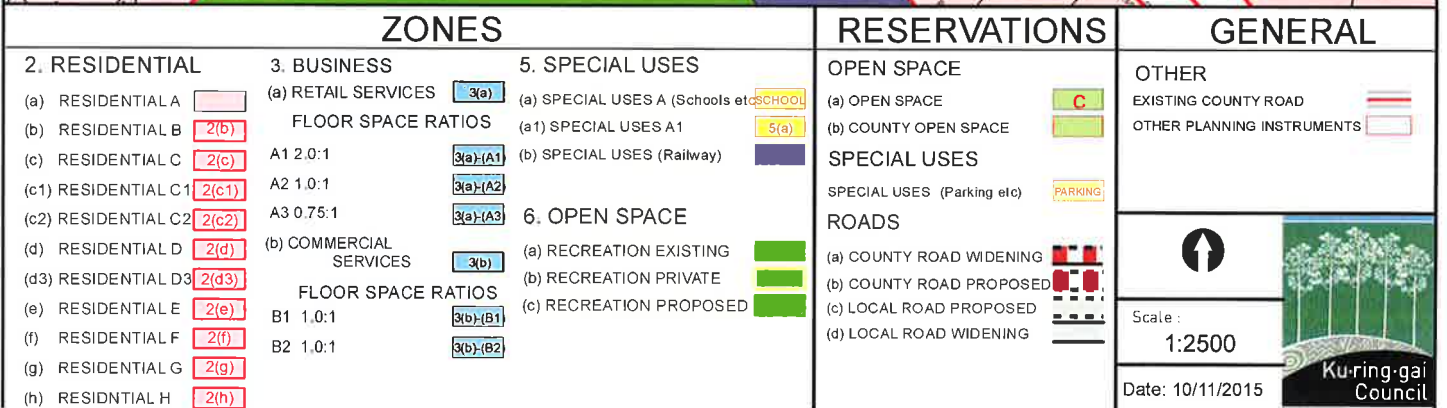
1:2,500

- ▲ AGREEMENT
- OBJECTION
- ▣ PETITION

- ▨ SUBJECT LAND
- ▨ HERITAGE ITEM
- ▨ CONSERVATION AREA

**Ku-ring-gai
Council**





ANNEXURE 1:

**SEPP 1 OBJECTION
CLAUSE 25L – ZONE INTERFACE**

State Environmental Planning Policy No. 1 - Development Standards (SEPP 1) provides a mechanism for a consent authority to consider variations to development standards contained in environmental planning instruments.

This SEPP 1 Objection is made pursuant to Clause 25L that states that the third and fourth storey of any building on land within Zone No 2 (d3) must be set back at least 9 metres from any boundary of the site of the building with land (other than a road) that is not within Zone No 2 (d3).

The proposed development, being Building A (closest to The Pacific Highway) and Building B, contains minor encroachments into the 9m setback as shown on the floor plans prepared by PBD Architects. The extent of the departures are very minor.

The SEPP 1 Objection applies the principles established in Winten Property Group Limited v North Sydney Council (2001) NSW LEC 46 and further refined in Wehbe v Pittwater Council (2007) NSW LEC 827.

1. Is the planning control in question a development standard?

Clause 25L states that that the third and fourth storey of any building on land within Zone No 2 (d3) must be set back at least 9 metres from any boundary of the site of the building with land (other than a road) that is not within Zone No 2 (d3). This control is a numerical development standard, as defined in Section 4 of the Environmental Planning and Assessment Act 1979, and is therefore capable of being varied under the provision of State Environmental Planning Policy No. 1 - Development Standards.

2. What is the underlying object or purpose of the standard?

The purpose of the standard is reflected in the Clause 25D which includes the following:

25D (2) Objectives for residential zones

- (c) to provide side setbacks that enable effective landscaping, tree planting between buildings, separation of buildings for privacy and views from the street to rear landscaping,
- (e) to provide built upon area controls to protect the tree canopy of Ku-ring-gai, and to ensure particularly the provision of viable deep soil landscaping in order to maintain and improve the tree canopy in a sustainable way, so that tree canopy will be in scale with the built form,
- (k) to ensure sunlight access to neighbours and to provide sunlight access to occupants of the new buildings,

Further Division 5 Further controls: Clause 25I - Site requirements and development standards for multi-unit housing contains the following heads of consideration:

- (a) the desirability to provide a high proportion of deep soil landscape to the site area,
- (b) the impact of any overshadowing, and any loss of privacy and loss of outlook, likely to be caused by the proposed development,
- (c) the desirability to achieve an appropriate separation between buildings and site boundaries and landscaped corridors along rear fence lines,
- (d) the environmental features that are characteristic of the zone in which the site is situated by requiring sufficient space on-site for effective landscaping,
- (e) the desirability of adequate landscaping so that the built form does not dominate the landscape,
- (f) how the principles of water cycle management can be applied to limit the impacts of runoff and stormwater flows off site.

The objective of the KPSO 9 metre setback development standard therefore relates to the built form and scale of the building, sufficient areas for landscaping and deep soil planting zones, the separation of buildings for privacy, views, sunlight access and provision of reasonable levels of

amenity. In this case, separation of the proposed development from the adjoining heritage item at 1187 Pacific Highway is also an important consideration.

3. Is compliance with the standard consistent with the aims of the policy and does compliance with the standard hinder the object of the Act under s5a (i) and (ii)?

The aims and objectives of SEPP 1 – Development Standards is:

"To provide flexibility in the application of planning controls operating by virtue of development standards in circumstances where strict compliance with those standards would, in any particular case, be unreasonable or necessary or tend to hinder the attainment of the objects specified in section 5 (a) (i) and (ii) of the Act."

The objects set down in Section 5(a)(i) and (ii) are:

"(a) to encourage:

(i) the proper management, development and conservation of natural and artificial resources, including agricultural land, natural areas, forests, minerals, water, cities, towns and villages for the purpose of promoting the social and economic welfare of the community and a better environment,

"(ii) the promotion and co-ordination of the orderly and economic use and development of land,

It is considered that a variation to 2SL of the KPSO would not hinder Council's overall strategic objectives towards the proper management and development of land within the municipality having regard to the site constraints and context, and is therefore consistent with the objectives of the Policy.

4. Is compliance with the standard unreasonable or unnecessary in the circumstances of the case?

It is considered that compliance with the standard contained in Clause 25L would be unreasonable and unnecessary in the circumstances of the case given:

- The proposal is compliant with other development standards that work together to create the built form, scale, building separation, landscaping, deep soil planting, site coverage and density for the development.
- The balconies and walls are not parallel to the boundary, being offset and only the corners of the balconies or building encroach into the setback thus for the most part the development is well outside the 9m setback.
- Where the wall of the levels 2 and 3 on the eastern façade of Building A encroach into the setback only small bedroom windows are proposed. This style of window in a low traffic area of each unit will not impact on privacy or amenity of the adjoining property. The building separation at this point is more than acceptable.
- The variation does not result in any additional overshadowing impacts to adjoining properties given general compliance with the building separation controls.
- The proposal is appropriate in terms of bulk and scale. The design responds to the topography of the site and irregular shape created by the four allotments.
- The balconies, being offset, are not dominant when viewed from the Pacific Highway, Womerah Street or the adjoining properties.
- The two building are articulated and stepped in appearance, with the upper levels recessed to minimise visual bulk and which comply with the 60% control.
- The deep soil planting zones along the site boundaries provide ample opportunity for substantial planting of canopy trees in accordance with the landscape plan submitted as part of the application. Importantly the basement does not extend into this area thus true deep soil zones are provided for tree replenishment which involves at least 34 new trees.

5. Is the objection well founded?

In *Wehbe v Pittwater Council* (2007) the Chief Justice then expressed the view that there are 5 different ways in which an objection may be well founded and that approval of the objection may be consistent with the aims of the policy:

- *the objectives of the standard are achieved notwithstanding non-compliance with the standard;*
- *the underlying objective or purpose of the standard is not relevant to the development and therefore compliance is unnecessary;*
- *the underlying object of purpose would be defeated or thwarted if compliance was required and therefore compliance is unreasonable;*
- *the development standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable;*
- *the zoning of the particular land is unreasonable or inappropriate so that a development standard appropriate for that zoning is also unreasonable and unnecessary as it applies to the land and compliance with the standard would be unreasonable or unnecessary. That is, the particular parcel of land should not have been included in the particular zone.*

It is contended that the proposal meets the underlying objectives of the standard and the minor encroachments do not result in any additional or unreasonable impact on adjoining properties. The development provides adequate amenity to occupants and to neighbours and the landscape character is preserved by true perimeter deep soil zones to all boundaries. The Blue Gum trees to the north are not impacted by the development in accordance with the arborist report and the crowns are preserved. The scale of the development is at a level anticipated by the planning controls. The setback of 9m is acceptable and reduces the perceived bulk and scale.

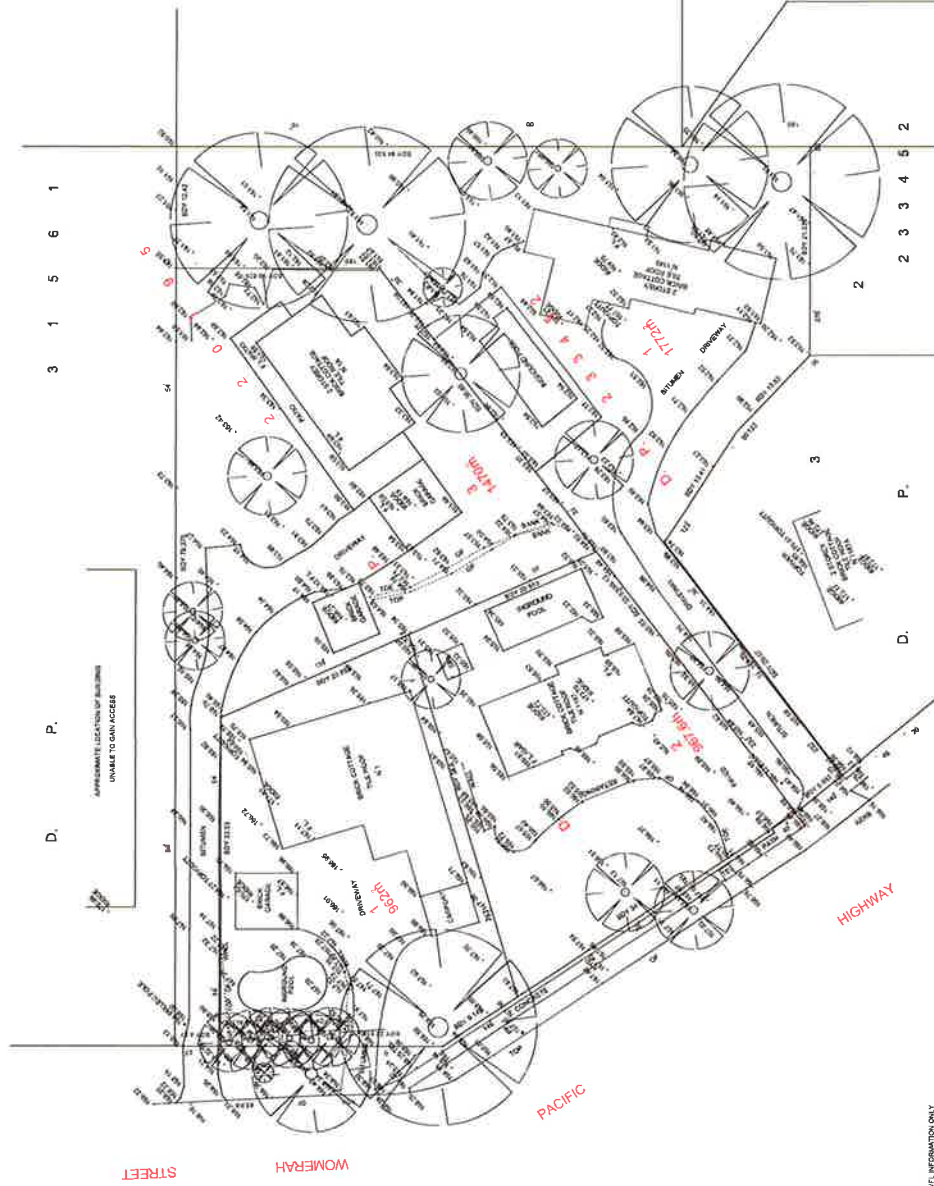
The proposed minor variation does not act to erode the intention or effectiveness of the development standard if and when applied to future development. The setback controls are no longer contained in the KLEP 2015. Again the level of non compliance is very minor. Strict compliance with the numerical standard in this case would not result in a better design, layout or minimize any impacts of the development. The application acknowledges these minor encroachments and ensures that the buildings comply with the remaining standards. Deep soil landscaping and existing vegetation breaks down any visual or privacy impacts along with appropriate site planning by the architect. In this regard, the proposal has addressed the public interest.

Conclusion

Having regarded the matters described previously in this objection it is considered that the proposed numerical non-compliance does not undermine the achievement of the underlying objectives of the standard. The objectives of the control have been satisfied and the extent of the non compliance has been shown to be very minor. There would be no perceptible difference between a fully compliant development and the subject proposal.

This SEPP 1 objection does not attempt to affect the planning outcomes for the broader locality; rather it reflects the identified site-specific development constraints and a performance-based approach to satisfying the underlying objectives of the control.

Accordingly the requirement for strict compliance is unreasonable and unnecessary and the variation to the identified setback control should be supported and Council should exercise its power under Clause 7 of the SEPP to grant consent to the proposal notwithstanding the technical non-compliance.



THIS PLAN IS A PRELIMINARY PLAN AND IS NOT A FINAL PLAN. IT IS NOT TO BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE. THE DESIGNER ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE CAUSED BY THE USE OF THIS PLAN. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN OF THE PLAN. THE DESIGNER'S LIABILITY IS NOT TO BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE. THE DESIGNER ACCEPTS NO LIABILITY FOR ANY LOSS OR DAMAGE CAUSED BY THE USE OF THIS PLAN. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN OF THE PLAN.

DATUM A.H.D.
30 JUNE 2013

HELENSBURGH SURVEYING SERVICES
PO BOX 88 HELENSBURGH NSW 2508
PHONE 02 4338 8818
MOBILE 0414 17771

LEGEND

- Site boundary
- Existing trees to be retained (refer to arborist's report)
- Existing trees to be removed (refer to arborist's report)
- New tree planting (refer to plant schedule)
- New shrub planting (refer to proposed plant schedule)
- New ground cover planting (refer to plant schedule)
- New turf area
- Native mulch with spot planting of groundcover plants
- New timber edging
- New retaining wall
- New timber bench
- New life or cast-iron paving to Architect's detail
- New position walkway paving to Architect's detail
- New 400x400mm concrete stepping stones
- New concrete paving
- New soil (all mulch)
- New pergola structure to Architect's detail
- New 2/4w pits to Hydraulic Eng's detail
- New bio-retention silt to Hydraulic Eng's detail
- New design levels
- Existing contours



PROPOSED PLANTING SCHEDULE

CODE	Botanical Name	Plant Size	Quantity	Notes
1	Acacia saligna	10m	10	Plant in rows along driveway
2	Callistemon citrinus	5m	20	Plant in rows along driveway
3	Leptospermum laevis	3m	30	Plant in rows along driveway
4	Leptospermum laevis	3m	30	Plant in rows along driveway
5	Leptospermum laevis	3m	30	Plant in rows along driveway
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100	Leptospermum laevis	3m	30	Plant in rows along driveway

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 email: john@johncharlton.com.au

Landscaping Architects:
Urban Designers
 John Charlton & Associates
 1/100 Womerah Street
 Womerah NSW 2771
 Tel: 08 442 428 787 Fax: 08 442 440 104
 email: john@johncharlton.com.au

Client:
 BROADSTATE/REVELOP

Title:
 Landscape Plan:
 ground floor

Project:
 1 Womerah Street
 TURRAMURRA

Scale:
 1:200 at A1

Project No:
 1WS/DA/1P/A

Dwg No:
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DA 500	COVER PAGE	DA 502	LEVEL 1 FSR	DA 531	SITE COVERAGE DIAGRAM
DA 001	DEMOLITION PLAN	DA 503	LEVEL 2 FSR	DA 532	HEIGHT ABOVE GROUND DIAGRAM
DA 002	SITE ANALYSIS PLAN	DA 504	LEVEL 3 FSR	DA 523	ADAPTABLE UNIT 1
DA 100	BASEMENT LEVEL 1	DA 505	LEVEL 4 FSR	DA 524	ADAPTABLE UNIT 2
DA 101	BASEMENT LEVEL 1				
DA 102	GROUND FLOOR PLAN	DA 506	DEEP SOIL PLAN	DA 601	SOLAR STUDY - 9AM
DA 103	LEVEL 1 PLAN	DA 507	COMMUNAL OPEN SPACE DIAGRAM	DA 602	SOLAR STUDY - 10AM
DA 104	LEVEL 2 PLAN	DA 508	NATURAL VENTILATION CALCULATION	DA 603	SOLAR STUDY - 11AM
DA 105	LEVEL 3 PLAN	DA 509	NATURAL VENTILATION CALCULATION	DA 604	SOLAR STUDY - 12PM
DA 106	LEVEL 3 PLAN	DA 510	NATURAL VENTILATION CALCULATION	DA 605	SOLAR STUDY - 1PM
DA 107	ROOF PLAN	DA 511	APARTMENT MIX DIAGRAM	DA 606	SOLAR STUDY - 2PM
DA 200	BUILDING A-SW + NE ELEVATION	DA 512	APARTMENT MIX DIAGRAM	DA 607	SOLAR STUDY - 3PM
DA 201	BUILDING B-SW + NE ELEVATION	DA 513	PRIVATE OPEN SPACE DIAGRAM	DA 608	SHADOW DIAGRAM - 9AM
DA 300	SECTION AA, BB	DA 514	PRIVATE OPEN SPACE DIAGRAM	DA 609	SHADOW DIAGRAM - 10AM
DA 301	SECTION CC, DD	DA 515	PRIVATE OPEN SPACE DIAGRAM	DA 610	SHADOW DIAGRAM - 11AM
DA 302	LONGITUDINAL DRIVEWAY SECTION	DA 516	PRIVATE OPEN SPACE DIAGRAM	DA 611	SHADOW DIAGRAM - 12PM
DA 400	MATERIAL + FINISHES	DA 517	STORAGE DIAGRAM	DA 612	SHADOW DIAGRAM - 1PM
DA 401	GROUND FLOOR FSR	DA 518	STORAGE DIAGRAM	DA 613	SHADOW DIAGRAM - 2PM
DA 501		DA 519	STORAGE DIAGRAM	DA 614	SHADOW DIAGRAM - 3PM

WOMEN'S 5T TURKISHSURA									
Page 1 of 107									
Area Statistics									
Level	Rank	Type	Amount	Percent	Amount (per 1000)	Amount (per 1000)	Total Amount	Cost (per 1000)	Cost (per 1000)
1	1000	2:00	35	21	1.4	7.4	4.0	4	4
2	1000	2:00	17	10	0.7	3.6	1.6	1	1
3	1000	2:00	42	25	1.8	9.4	4.8	5	5
4	1000	2:00	33	20	1.4	7.4	3.8	4	4
5	1000	2:00	33	20	1.4	7.4	3.8	4	4
6	1000	2:00	41	25	1.8	9.4	4.8	5	5
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DEVELOPMENT APPLICATION

1 WOMERAH STREET, TURRAMURRA

Output instability (inequality)

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Exposure to both of these substances is also known to cause cancer.

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1 WOMERAH STREET, TURRAMURRA
PROJECT NO. 1911
CLIENT: MOUNTAINVIEW DEVELOPERS



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Floor plan of the 1st floor of a house. The plan includes a Main Bedroom (3.0 x 3.5m) with a wardrobe, an Ensuite (3.0 x 1.6m), a Bathroom (3.0 x 1.5m), a Living Room (4.0 x 5.5m) with a fireplace and TV, a Dining Room (3.0 x 3.2m) with a table and chairs, and a Kitchen (3.0 x 3.2m) with a sink, stove, and refrigerator. A large window is shown on the right side of the living room.

The floor plan shows a rectangular apartment layout. At the top is a balcony (14 m²) with a round table and four chairs. Below the balcony is a living/dining room (4.0 x 5.5m) featuring a large round table, a sofa, and a fireplace. To the left of the living/dining room is a kitchen (3.0 x 3.2m) with a sink, stove, and refrigerator. Below the kitchen is a bathroom (3.0 x 1.3m) with a bathtub, toilet, and sink. To the right of the living/dining room is a main bedroom (3.0 x 3.6m) with a bed and a wardrobe. Below the main bedroom is an ensuite (3.0 x 2m) with a toilet and a sink. To the left of the living/dining room is another bedroom (3.0 x 3.2m) with a bed and a wardrobe. The apartment also includes a central hallway and several closets.

BUILDING OUTLINE

GENERAL NOTES:

1. All work shall be in accordance with the City of Los Angeles Department of Public Works, Engineering Division, Standard Specifications for the Construction of Streets and Highways, 2013 Edition, and the City of Los Angeles Department of Public Works, Engineering Division, Standard Specifications for the Construction of Waterways, 2013 Edition.
2. The Engineer's office is located at 1100 Wilshire Blvd., Suite 200, Los Angeles, CA 90017. The City Engineer's office is located at 1100 Wilshire Blvd., Suite 200, Los Angeles, CA 90017.
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DEVELOPMENT APPLICATION

1 WOMERAH STREET, TURAMURRA

CLIENT: [REDACTED]



DA 522

HEIGHT ABOVE GROUND DIAGRAM

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- Australian Standard 1530, and various Australian Building Standards.
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- Compliance of design system is verified by the client and authority is required for any re-approval.
- When provided, products are required to be tested in accordance with the manufacturer's written instructions.

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1 WOMERAH STREET, TURRAMURRA

Support: info@support.vantage2.com



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ISSUED FOR INFORMATION	B
<u>ISSUED FOR INFORMATION</u>	A
DESCRIPTION	REVISION

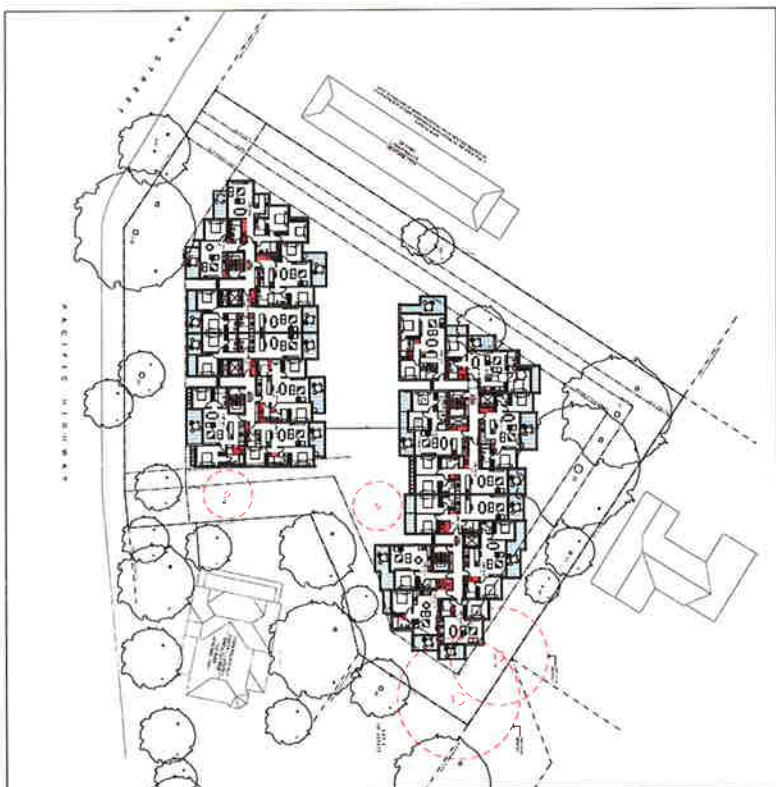
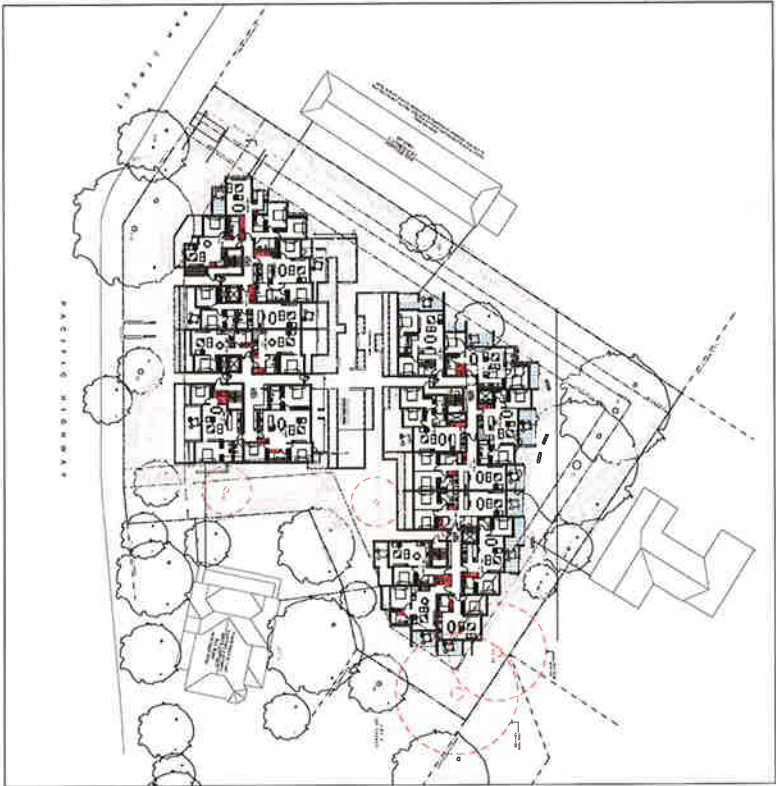
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02 LEVEL 1 FLOOR PLAN
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GENERAL NOTE:

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LEARNING

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| AB | absorbance of the sample |
| BC | background correction |
| CD | calibration device |
| DE | data evaluation |
| FG | fluorescence |
| HI | high intensity |
| JK | kinetic |
| LM | laser measurement |
| NO | noise |
| PR | photoresist |
| ST | surface treatment |
| UV | ultraviolet |
| XY | xy-plane |
| Z | z-axis |

INTRODUCTION

1. ABBOTT, R. F. 1954. RESPONSE TO 2,4-DICHLOROPHENOXYACETIC ACID BY PLANTS OF THE GENUS *LYNCHIA*.
2. ABBOTT, R. F. 1955. EFFECT OF 2,4-DICHLOROPHENOXYACETIC ACID ON THE GROWTH OF *LYNCHIA* SPECIES.
3. ABBOTT, R. F. 1956. EFFECT OF 2,4-DICHLOROPHENOXYACETIC ACID ON THE GROWTH OF *LYNCHIA* SPECIES.
4. ABBOTT, R. F. 1957. EFFECT OF 2,4-DICHLOROPHENOXYACETIC ACID ON THE GROWTH OF *LYNCHIA* SPECIES.
5. ABBOTT, R. F. 1958. EFFECT OF 2,4-DICHLOROPHENOXYACETIC ACID ON THE GROWTH OF *LYNCHIA* SPECIES.
6. ABBOTT, R. F. 1959. EFFECT OF 2,4-DICHLOROPHENOXYACETIC ACID ON THE GROWTH OF *LYNCHIA* SPECIES.
7. ABBOTT, R. F. 1960. EFFECT OF 2,4-DICHLOROPHENOXYACETIC ACID ON THE GROWTH OF *LYNCHIA* SPECIES.
8. ABBOTT, R. F. 1961. EFFECT OF 2,4-DICHLOROPHENOXYACETIC ACID ON THE GROWTH OF *LYNCHIA* SPECIES.
9. ABBOTT, R. F. 1962. EFFECT OF 2,4-DICHLOROPHENOXYACETIC ACID ON THE GROWTH OF *LYNCHIA* SPECIES.
10. ABBOTT, R. F. 1963. EFFECT OF 2,4-DICHLOROPHENOXYACETIC ACID ON THE GROWTH OF *LYNCHIA* SPECIES.

DEVELOPMENT APPLICATION

REPORT INDEPENDENTLY AVAILABLE



REVISION	DESCRIPTION	DATE	BY
3	ISSUED FOR INFORMATION		
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DA 518
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- DCP 7C.2: PRIVATE OPEN SPACE

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- ## THE FUTURE OF THE FUTURE

1. MATHS FOR DUMMIES, 4th Edition, by John J. O'Neil, published by Wiley, 2003, ISBN 0 471 38566 1
2. MATHS FOR DUMMIES, 4th Edition, by John J. O'Neil, published by Wiley, 2003, ISBN 0 471 38566 1
3. MATHS FOR DUMMIES, 4th Edition, by John J. O'Neil, published by Wiley, 2003, ISBN 0 471 38566 1
4. MATHS FOR DUMMIES, 4th Edition, by John J. O'Neil, published by Wiley, 2003, ISBN 0 471 38566 1
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1 WOMERAH STREET, TURRAMURRA

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DCP 17C.2: PRIVATE OPEN SPACE

- 25m² FOR GROUND FLOOR APARTMENTS
 - 10m² FOR EACH 1 BEDROOM APARTMENTS
 - 12m² FOR EACH 2 BEDROOM APARTMENTS
 - 15m² FOR EACH 3 OR MORE BEDROOM APARTMENTS
- MINIMUM DIMENSION OF 24m

All items in conformity with Building Code of Australia, requirements of relevant Statutory Authorities, Local Government and relevant Australian Building Standards. Contractors in supply of plumbing work will be liable for compliance with all relevant codes and standards for plumbing, electrical and building work. The contractor shall be responsible for obtaining all necessary permits and approvals for the work. The contractor shall be responsible for obtaining all necessary permits and approvals for the work. The contractor shall be responsible for obtaining all necessary permits and approvals for the work.

LEONARD

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DEVELOPMENT APPLICATION

1 WOMERAH STREET, TURRAMURRA

CLIENT: BROADSTATE / REVELOS



REVISION	DESCRIPTION	REVISION
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DA 515
PRIVATE OPEN SPACE DIAGRAM

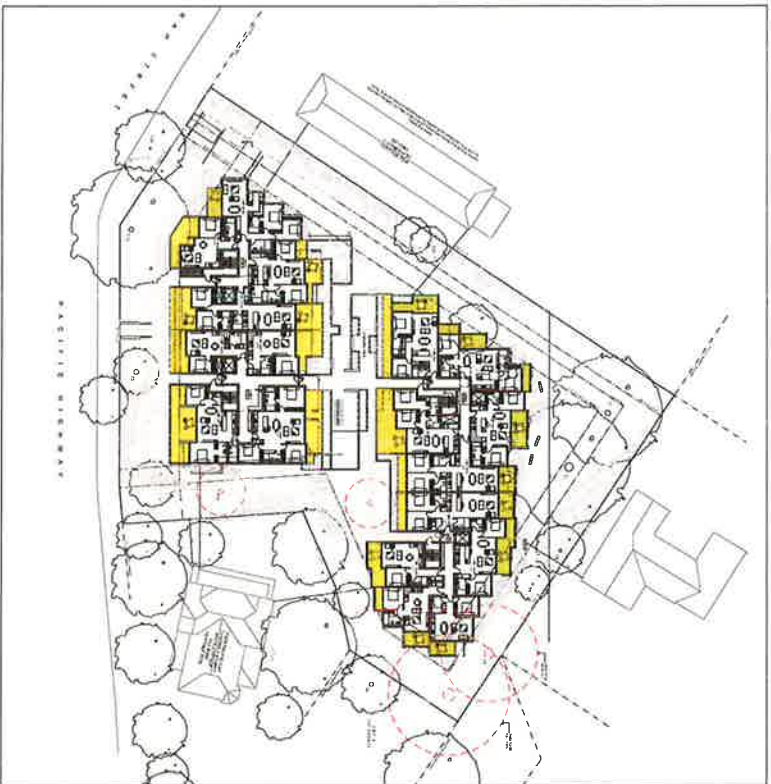
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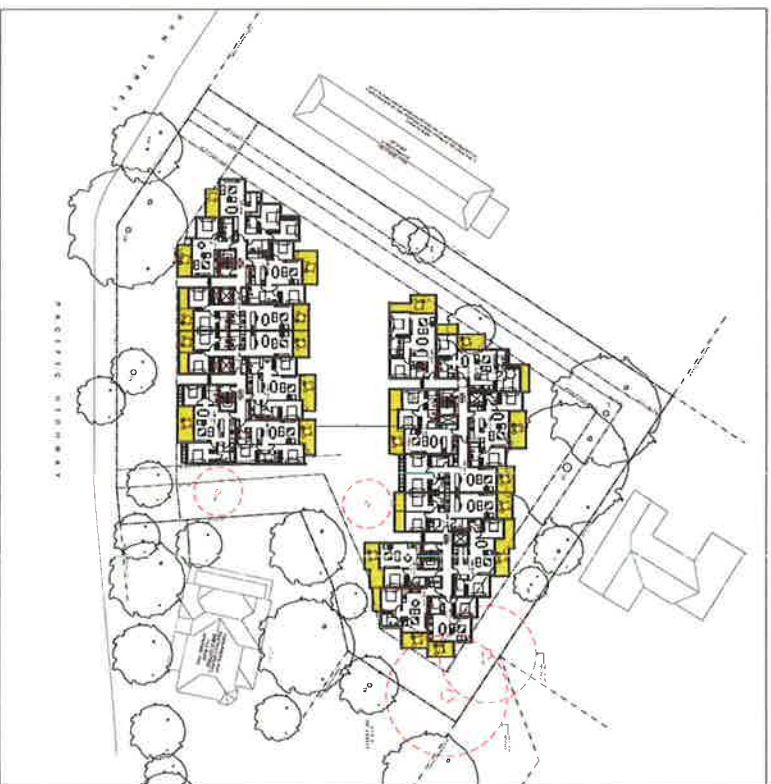
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01
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02
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LEVEL 1 FLOOR PLAN

PRIVATE OPEN SPACE

- DOP (TC/2): PRIVATE OPEN SPACE
- 25m² FOR GROUND FLOOR APARTMENTS
 - 10m² FOR EACH 1 BEDROOM APARTMENTS
 - 12m² FOR EACH 2 BEDROOM APARTMENTS
 - 15m² FOR EACH 3 OR MORE BEDROOM APARTMENTS
 - MINIMUM DIMENSION OF 2.4m

GENERAL NOTES:

1. All work is to be done in accordance with the latest edition of the relevant Australian Standards and Codes of Practice.
2. The design is based on the information provided by the client and is not to be used for any other purpose without the written consent of the architect.
3. The design is not to be used for any other purpose without the written consent of the architect.
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LEGEND:

- 1. 100% FINISHED FLOOR
- 2. 100% FINISHED CEILING
- 3. 100% FINISHED WALL
- 4. 100% FINISHED ROOF
- 5. 100% FINISHED GROUND
- 6. 100% FINISHED PLANT
- 7. 100% FINISHED ELECTRICAL
- 8. 100% FINISHED MECHANICAL
- 9. 100% FINISHED SANITARY
- 10. 100% FINISHED FURNITURE
- 11. 100% FINISHED DECORATION
- 12. 100% FINISHED LIGHTING
- 13. 100% FINISHED SOUNDING
- 14. 100% FINISHED SECURITY
- 15. 100% FINISHED SAFETY
- 16. 100% FINISHED ACCESSIBILITY
- 17. 100% FINISHED SUSTAINABILITY
- 18. 100% FINISHED WELLBEING
- 19. 100% FINISHED QUALITY
- 20. 100% FINISHED VALUE

DETAILS AND SPECIFICATIONS

1. 100% FINISHED FLOOR
2. 100% FINISHED CEILING
3. 100% FINISHED WALL
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8. 100% FINISHED MECHANICAL
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19. 100% FINISHED QUALITY
20. 100% FINISHED VALUE

DEVELOPMENT APPLICATION

1 WOMERAH STREET, TURRAMURRA

CLIMATE RESPONSE & DESIGN



PRIVATE OPEN SPACE DIAGRAM
JUNE 2015

PBD | ARCHITECTS

100% FINISHED FLOOR
100% FINISHED CEILING
100% FINISHED WALL
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100% FINISHED GROUND
100% FINISHED PLANT
100% FINISHED ELECTRICAL
100% FINISHED MECHANICAL
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100% FINISHED VALUE

- * All users to comply with Building Code of Australia and provisions of relevant State/Territory Acts/Regulations and Government and relevant local/State/Territory Building Standards
- * Compliance in supply of all documents to all relevant government agencies, including a disclaimer to all identified disease carrier with relevant notes of forwarding to all local health body (even if not)
- * Compliance of design system where it is required by the relevant authority is required; for any retrofitted
- * Where available products are not related to be used in accordance with the manufacturer's specific instructions

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1 WOMERAH STREET, TURRAMURRA

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Contractor to verify all dimensions on site before commencing work.
Copyright of designer shall remain the reserved by the client and authority is

LEVEL	1 BED	2 BED	3 BED	TOTAL
GF	6	11		
L1	4	14	1	
L2	3	14		
L3	3	14		79
L4	1	3	5	
TOTAL	17	56	6	
PERCENTAGE %	22%	71%	8%	



01 LEVEL 2 FLOOR PLAN



02 LEVEL 3 FLOOR PLAN

LEVEL	1 BED	2 BED	3 BED	TOTAL
GF	6	11	1	
L1	4	14		
L2	3	14		
L3	3	14		
L4	1	3	5	
TOTAL	17	56	6	79
PERCENTAGE %	22%	71%	8%	

GENERAL NOTES:

1. All work to be completed in accordance with the City of Seattle Department of Planning and Development's (DOP) and the City of Seattle Department of Public Works' (DPW) standards and specifications.
2. The owner reserves the right to make changes to the project at any time without notice.
3. The contractor shall be responsible for obtaining all necessary permits and licenses.
4. The contractor shall be responsible for maintaining the site at all times.
5. The contractor shall be responsible for the safety of all workers and the public.
6. The contractor shall be responsible for the quality of all work.
7. The contractor shall be responsible for the completion of all work.
8. The contractor shall be responsible for the payment of all bills.
9. The contractor shall be responsible for the insurance of all workers and the public.
10. The contractor shall be responsible for the cleanup of all debris.

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DEVELOPMENT APPLICATION

1 WOMERAH STREET, TURRAMURRA

CLIENT: PROSPECTIVE INVESTOR

PROJECT No. 111

DATE: 11/11/2015

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PBD | ARCHITECTS

DA 512

APARTMENT MIX

JUNE 2015

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02 LEVEL 1 FLOOR PLAN
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LEVEL	1 BED	2 BED	3 BED	TOTAL
GF	6	11	1	79
L1	4	14		
L2	3	14		
L3	3	14		
L4	1	3	5	
TOTAL	17	56	6	
PERCENTAGE %	22%	71%	8%	

As noted in recently issued *Building Code of America*, *emphasis of relevant Building Authorities* (Local Government or relevant American Building Officials Conference) in study of developments in the history surrounding such projects is identifying and resolving related problems with problems more in perspective (not only those issues are).

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When individual products are referred to in this document, they are intended to be used in accordance with the manufacturer's instructions.

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1 WOMERAH STREET, TURRAMURRA



DA 511
APARTMENT MIX
JUNE 2015

PBD | ARCHITECTS

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ASSISTANT WILL BE REQUIRED TO REJECT APPLICATIONS MADE TO ADOPTANTS ON GROUP AND LEVEL ACCESSIBLE TO ALL AGENTS
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1 WOMERAH STREET, TURRAMURRA

PHOTO CT No. 1211
PLANT PRODUCTION: 1982/83

JUNE 2015

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Architectural site plan of the University of California, Irvine campus. The plan shows the layout of various buildings, including the Administration Building, Library, and Student Center. It also depicts the surrounding landscape with trees and the location of the new building relative to existing structures and the Pacific Highway.



01 GROUND FLOOR PLAN



02 LEVEL 1 FLOOR PLAN

DGP 70.41: NATURAL VENTILATION

- ALL HABITABLE ROOMS ARE TO HAVE OPERABLE WINDOWS OR DOORS
- AT LEAST 60% OF APARTMENTS MUST HAVE NATURAL CROSS VENTILATION
- AT LEAST 25% OF ALL KITCHENS ARE TO BE IMMEDIATELY ADJACENT TO AN OPERABLE WINDOW

TOTAL NUMBER OF APARTMENTS: 79 UNITS

NATURALLY VENTILATED APARTMENTS: 50 UNITS
 NATURALLY VENTILATED = KITCHENS: 11 UNITS

% APARTMENT WITH NATURAL CROSS VENTILATION = 63%
 % KITCHENS WITH NATURAL CROSS VENTILATION = 14%

GENERAL NOTES:

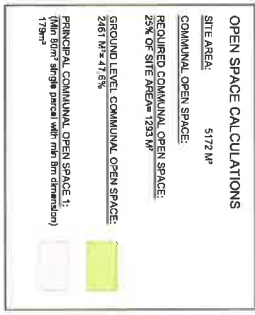
1. All work shall be in accordance with the City of Turramurra Development Control Plan 2015.
2. The design shall be in accordance with the City of Turramurra Development Control Plan 2015.
3. The design shall be in accordance with the City of Turramurra Development Control Plan 2015.
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9. The design shall be in accordance with the City of Turramurra Development Control Plan 2015.
10. The design shall be in accordance with the City of Turramurra Development Control Plan 2015.

LEGEND:

- AP1: APARTMENT 1 (101-110)
- AP2: APARTMENT 2 (111-120)
- AP3: APARTMENT 3 (121-130)
- AP4: APARTMENT 4 (131-140)
- AP5: APARTMENT 5 (141-150)
- AP6: APARTMENT 6 (151-160)
- AP7: APARTMENT 7 (161-170)
- AP8: APARTMENT 8 (171-180)
- AP9: APARTMENT 9 (181-190)
- AP10: APARTMENT 10 (191-200)
- AP11: APARTMENT 11 (201-210)
- AP12: APARTMENT 12 (211-220)
- AP13: APARTMENT 13 (221-230)
- AP14: APARTMENT 14 (231-240)
- AP15: APARTMENT 15 (241-250)
- AP16: APARTMENT 16 (251-260)
- AP17: APARTMENT 17 (261-270)
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- AP19: APARTMENT 19 (281-290)
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- AP22: APARTMENT 22 (311-320)
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- AP32: APARTMENT 32 (411-420)
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- AP34: APARTMENT 34 (431-440)
- AP35: APARTMENT 35 (441-450)
- AP36: APARTMENT 36 (451-460)
- AP37: APARTMENT 37 (461-470)
- AP38: APARTMENT 38 (471-480)
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- AP40: APARTMENT 40 (491-500)
- AP41: APARTMENT 41 (501-510)
- AP42: APARTMENT 42 (511-520)
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- AP59: APARTMENT 59 (681-690)
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- AP61: APARTMENT 61 (701-710)
- AP62: APARTMENT 62 (711-720)
- AP63: APARTMENT 63 (721-730)
- AP64: APARTMENT 64 (731-740)
- AP65: APARTMENT 65 (741-750)
- AP66: APARTMENT 66 (751-760)
- AP67: APARTMENT 67 (761-770)
- AP68: APARTMENT 68 (771-780)
- AP69: APARTMENT 69 (781-790)
- AP70: APARTMENT 70 (791-800)
- AP71: APARTMENT 71 (801-810)
- AP72: APARTMENT 72 (811-820)
- AP73: APARTMENT 73 (821-830)
- AP74: APARTMENT 74 (831-840)
- AP75: APARTMENT 75 (841-850)
- AP76: APARTMENT 76 (851-860)
- AP77: APARTMENT 77 (861-870)
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- AP79: APARTMENT 79 (881-890)
- AP80: APARTMENT 80 (891-900)
- AP81: APARTMENT 81 (901-910)
- AP82: APARTMENT 82 (911-920)
- AP83: APARTMENT 83 (921-930)
- AP84: APARTMENT 84 (931-940)
- AP85: APARTMENT 85 (941-950)
- AP86: APARTMENT 86 (951-960)
- AP87: APARTMENT 87 (961-970)
- AP88: APARTMENT 88 (971-980)
- AP89: APARTMENT 89 (981-990)
- AP90: APARTMENT 90 (991-1000)

DA 508

1. THE DEVELOPER SHALL SUBMIT A DEVELOPMENT APPLICATION TO THE CITY OF TURRAMURRA FOR APPROVAL OF THE DEVELOPMENT.
2. THE DEVELOPER SHALL SUBMIT A DEVELOPMENT APPLICATION TO THE CITY OF TURRAMURRA FOR APPROVAL OF THE DEVELOPMENT.
3. THE DEVELOPER SHALL SUBMIT A DEVELOPMENT APPLICATION TO THE CITY OF TURRAMURRA FOR APPROVAL OF THE DEVELOPMENT.
4. THE DEVELOPER SHALL SUBMIT A DEVELOPMENT



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WOMERAH STREET

DP 51561 A VOUCHER ST NORTH SIDE 150M

LOT 3 DP 233452

AREA SUMMARY

SITE AREA	= 5172 m ²
ALLOWABLE FSR	= 1.3:1
ALLOWABLE GFA	= 6724m ²
PROPOSED GFA	= 6721m ²
FSR	= 1.3:1

GROUND FLOOR	= 1462 m ²
LEVEL 1	= 1511 m ²
LEVEL 2	= 1453 m ²
LEVEL 3	= 1453 m ²
LEVEL 4	= 842 m ²

LEGEND

GFA AREA

[illegible]

LIST 2: REQUIREMENTS

BASINNET WILL ATTEMPT TO REFLECT ADJUSTMENTS MADE TO
ADJUSTMENTS ON GROUND LEVEL

ACCESSIBLE ON GROUND LEVEL

ADJUSTMENT LAYOUT MARKED: UNIT 1001, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596, 1597, 1598, 1599, 1600, 1601, 1602, 1603, 1604, 1605, 1606, 1607, 1608, 1609, 1610, 1611, 1612, 1613, 1614, 1615, 1616, 1617, 1618, 1619, 1620, 1621, 1622, 1623, 1624, 1625, 1626, 1627, 1628, 1629, 1630, 1631, 1632, 1633, 1634, 1635, 1636, 1637, 1638, 1639, 1640, 1641, 1642, 1643, 1644, 1645, 1646, 1647, 1648, 1649, 1650, 1651, 1652, 1653, 1654, 1655, 1656, 1657, 1658, 1659, 1660, 1661, 1662, 1663, 1664, 1665, 1666, 1667, 1668, 1669, 1670, 1671, 1672, 1673, 1674, 1675, 1676, 1677, 1678, 1679, 1680, 1681, 1682, 1683, 1684, 1685, 1686, 1687, 1688, 1689, 1690, 1691, 1692, 1693, 1694, 1695, 1696, 1697, 1698, 1699, 1700, 1701, 1702, 1703, 1704, 1705, 1706, 1707, 1708, 1709, 1710, 1711, 1712, 1713, 1714, 1715, 1716, 1717, 1718, 1719, 1720, 1721, 1722, 1723, 1724, 1725, 1726, 1727, 1728, 1729, 1730, 1731, 1732, 1733, 1734, 1735, 1736, 1737, 1738, 1739, 1740, 1741, 1742, 1743, 1744, 1745, 1746, 1747, 1748, 1749, 1750, 1751, 1752, 1753, 1754, 1755, 1756, 1757, 1758, 1759, 1760, 1761, 1762, 1763, 1764, 1765, 1766, 1767, 1768, 1769, 1770, 1771, 1772, 1

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AP	APPLIED POLYMER SYMPOSIA (1963-1965)
ALC	ALCOHOL-CELLULOSE CHEMISTRY (1963-1965)
AN	ANALYTICAL CHEMISTRY (1963-1965)
AS	ANALYTICAL SPECTROSCOPY (1963-1965)
AT	ATOMIC TRANSFORMATIONS (1963-1965)
AV	ADVANCED VIBRATION ANALYSIS (1963-1965)
BE	BIOLOGICAL ELECTROCHEMISTRY (1963-1965)
BI	BIOLOGICAL INORGANIC CHEMISTRY (1963-1965)
BO	BIOLOGICAL ORGANIC CHEMISTRY (1963-1965)
BS	BIOLOGICAL SYSTEMS (1963-1965)
BT	BIOLOGICAL TOXICOLOGY (1963-1965)
BU	BIOLOGICAL UPTAKE (1963-1965)
CA	CATALYTIC ACTIVITY (1963-1965)
CB	CATALYTIC BEHAVIOR (1963-1965)
CC	CATALYTIC COMPLEXES (1963-1965)
CD	CATALYTIC DECOMPOSITION (1963-1965)
CE	CATALYTIC EFFECTS (1963-1965)
CF	CATALYTIC FUNCTION (1963-1965)
CG	CATALYTIC GROUPS (1963-1965)
CH	CATALYTIC HETEROGENEOUS (1963-1965)
CI	CATALYTIC IONIC (1963-1965)
CJ	CATALYTIC JUNCTIONS (1963-1965)
CK	CATALYTIC KINETICS (1963-1965)
CL	CATALYTIC LIGANDS (1963-1965)
CM	CATALYTIC MECHANISMS (1963-1965)
CN	CATALYTIC NUCLEI (1963-1965)
CO	CATALYTIC OXIDATION (1963-1965)
CP	CATALYTIC POLYMERIZATION (1963-1965)
CQ	CATALYTIC QUANTITIES (1963-1965)
CR	CATALYTIC REACTIONS (1963-1965)
CS	CATALYTIC SITES (1963-1965)
CT	CATALYTIC THERMAL (1963-1965)
CU	CATALYTIC ULTRAVIOLET (1963-1965)
CV	CATALYTIC VIBRATION (1963-1965)
CW	CATALYTIC WAVELENGTHS (1963-1965)
CX	CATALYTIC X-RAY (1963-1965)
CY	CATALYTIC YIELD (1963-1965)
CZ	CATALYTIC ZINC (1963-1965)
DA	DATUMS (1963-1965)
DB	DATUMS BEHAVIOR (1963-1965)
DC	DATUMS COMPLEXES (1963-1965)
DD	DATUMS DECOMPOSITION (1963-1965)
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EN	ENVIRONMENTAL NUCLEI (1963-1965)
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EV	ENVIRONMENTAL VIBRATION (1963-1965)
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EX	ENVIRONMENTAL X-RAY (1963-1965)
EY	ENVIRONMENTAL YIELD (1963-1965)
EZ	ENVIRONMENTAL ZINC (1963-1965)
FA	FACTORS (1963-1965)
FB	FACTORS BEHAVIOR (1963-1965)
FC	FACTORS COMPLEXES (1963-1965)
FD	FACTORS DECOMPOSITION (1963-1965)
FE	FACTORS EFFECTS (1963-1965)
FF	FACTORS FUNCTION (1963-1965)
FG	FACTORS GROUPS (1963-1965)
FH	FACTORS HETEROGENEOUS (1963-1965)
FI	FACTORS IONIC (1963-1965)
FJ	FACTORS JUNCTIONS (1963-1965)
FK	FACTORS KINETICS (1963-1965)
FL	FACTORS LIGANDS (1963-1965)
FM	FACTORS MECHANISMS (1963-1965)
FN	FACTORS NUCLEI (1963-1965)
FO	FACTORS OXIDATION (1963-1965)
FP	FACTORS POLYMERIZATION (1963-1965)
FQ	FACTORS QUANTITIES (1963-1965)
FR	FACTORS REACTIONS (1963-1965)
FS	FACTORS SITES (1963-1965)
FT	FACTORS THERMAL (1963-1965)
FU	FACTORS ULTRAVIOLET (1963-1965)
FV	FACTORS VIBRATION (1963-1965)
FW	FACTORS WAVELENGTHS (19

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GENERAL NOTES:

- 1. All work is to comply with the latest Code of Australia, incorporating all relevant statutory provisions.
- 2. The design is based on the information provided by the client and is not to be used for any other purpose without the written consent of the architect.
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DEVELOPMENT APPLICATION

1 WOMERAH STREET, TURRAMURRA

CLIENT: DRIVEWAY DEVELOPMENT PTY LTD

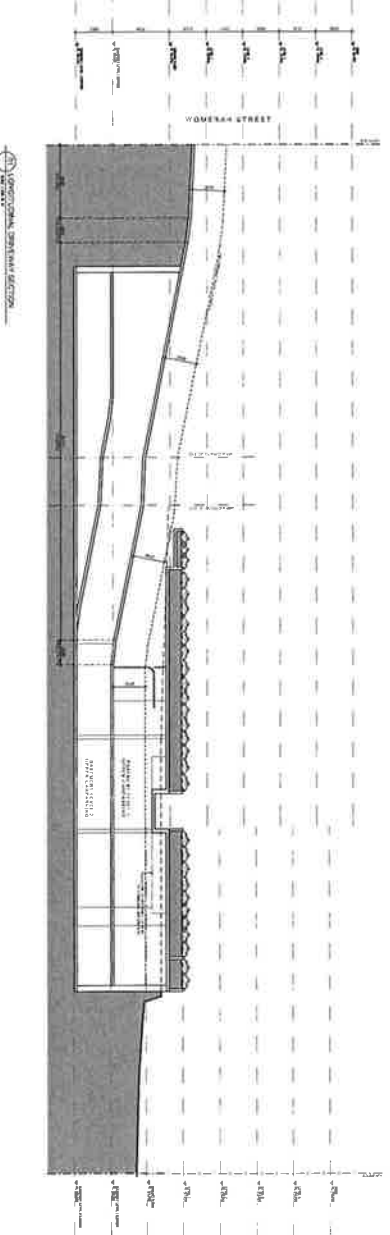


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8	REVISION	01/06/2015
9	REVISION	01/06/2015
10	REVISION	01/06/2015

DA 302
LONGITUDINAL DRIVEWAY SECTION
JUNE 2015

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Issued for: 150615_01_Womerah



Architectural drawing of a building facade, showing a grid of windows and doors. The drawing is oriented vertically on the page. The building has a central entrance with a small porch. The facade is composed of a grid of rectangular windows and doors. The drawing is labeled with "FACADE" and "SECTION".

Architectural drawing of a building facade. The drawing shows a multi-story building with a grid of windows. The central entrance is marked with a small structure. Dimensions are provided for various parts of the building, including window heights and widths. The drawing is oriented vertically, with the building's facade facing left.

- **NIH** is greatly influenced by **Academy of Sciences** (members of Robert Truett, Jr., Astrid Lindgren, Carl Cernigoi, and Robert L. Sledge, M.D., President)
- **Comptroller in charge** of **laboratory** is not below **management** (unlike NIH)
- **Pharmacology** in **biochemical** research with **Andrew** (not in **Pharmacology**)
- **Academy** from **chemistry**
- **Exposition** of **biological** research is **organized** by **the** **NIH** in **the** **academy** is **organizing** for **the** **academy**
- **Major** **biological** **research** is **organized** by **the** **NIH** in **the** **academy** is **organizing** for **the** **academy**
- **Major** **biological** **research** is **organized** by **the** **NIH** in **the** **academy** is **organizing** for **the** **academy**

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1. BASEMENT WALL, ALLOWED TO RELIEVE ADJUSTMENTS MADE TO APARTMENTS ON OPPOSITE LEVEL
2. ACCENT WALL, USED
3. BASEMENT WALL, USED
4. LIFTED, REINFORCED, UNITS 5031 & 5032, 8150 & 8152, 1075 & 802
5. LIFTED, REINFORCED, UNITS 8021 & 8022, 8150 & 8152, 1075 & 802
6. APARTMENT UNITS 8150, 8152, 8154, 8156, 8158, 8159, 8160, 8161, 8162, 8163, 8164, 8165, 8166, 8167, 8168, 8169, 8170
7. APARTMENT UNITS 8160, 8162, 8164, 8166, 8168, 8170
8. APARTMENT UNITS 8160, 8162, 8164, 8166, 8168, 8170
9. APARTMENT UNITS 8160, 8162, 8164, 8166, 8168, 8170
10. APARTMENT UNITS 8160, 8162, 8164, 8166, 8168, 8170

1 WOMERAH STREET, TURRAMURRA
PRODUCT No 1911
CLIENT: BROADBENT / DEVELLP



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- All work in conformity with Building Code of Australia, requirements of relevant Statutory Authorities, Local Government and relevant Australian Building Standards
- Compliance in every detail with the relevant Australian Standards
- Development of all building features within any Australian rules to permitting (if not solely from concept)
- Compliance of design scheme herein is evidenced by the notes and drawings is provided for any reproduction
- When proprietary products are referred to, suitable alternatives may be the responsibility of the fabricator

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RP

and the results are shown in Table 1. The results show that the model is able to predict the results of the experiments with a high degree of accuracy.

LIST OF MATERIALS:

1. BASEMENT WALL ALLOWED TO PERFORM ADJUSTMENT APARTMENTS ON GROUND LEVEL.

13701 & 13702

4 APARTMENT LAYOUT AVAILABLE: UNIT 3027 & 0308 @
5 APARTMENT LAYOUT AVAILABLE: UNIT A202 A108 A303
6 APARTMENT LAYOUT AVAILABLE - UNIT 2027 & 2027

2. **APPROPRIATE LAYOUT AND LOGIC** – 20% (max)

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DEVELOPMENT

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PROJECT No 1311
CLIENT: BROOKHART & FINEVELD

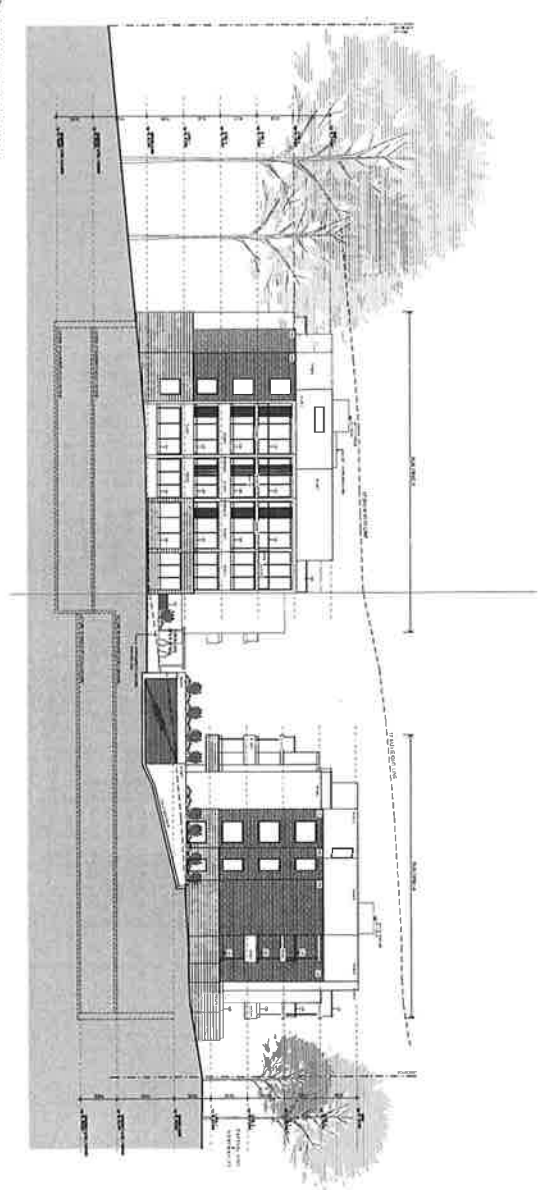
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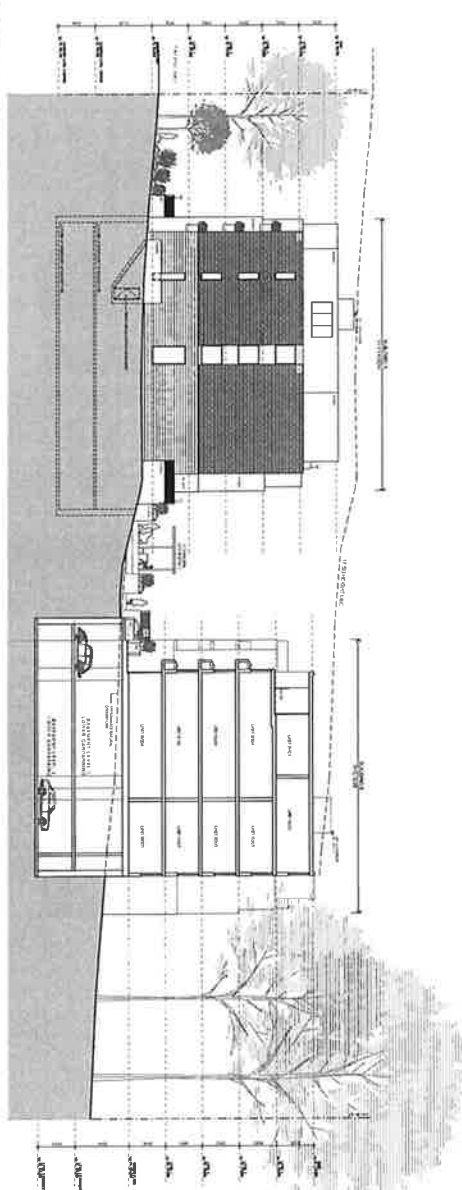
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8 NORTH WEST ELEVATION



9 SOUTH EAST ELEVATION



GENERAL NOTES:

- 1. All work to comply with the City of Adelaide, and provisions of relevant Statutory Instruments.
- 2. The design is based on the information provided by the client and is not to be used for any other purpose without the written consent of the architect.
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DEVELOPMENT APPLICATION

1 WOMERAH STREET, TURRAMURRA

PROJECT NO. 2011

CLIENT: TURRAMURRA CITY COUNCIL



NW + SE ELEVATION

JUNE 2015

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02 NORTH EAST ELEVATION
BUILDING A

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DATE OF REVISION	3
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DESCRIPTION	
DA 107	
ROOF PLAN	
JUNE 2015	

PBD | ARCHITECTS

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Consider if sample price seems to reflect its true and actual value



GENERAL NOTES:

1. All work to comply with Building Code of Australia, requirements of relevant Statutory Authorities.
2. Construction to comply with relevant Australian Standards (AS/NZS).
3. Materials to be used shall be of good quality and shall be suitable for the intended use.
4. Construction to comply with relevant Australian Standards (AS/NZS).
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1. WOMERAH STREET, TURRAMURRA

DEVELOPMENT APPLICATION

DA 102

GROUND FLOOR PLAN

JUNE 2015

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1. WOMERAH STREET, TURRAMURRA

DEVELOPMENT APPLICATION

DA 102

GROUND FLOOR PLAN

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GROUND FLOOR PLAN

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1. WOMERAH STREET, TURRAMURRA

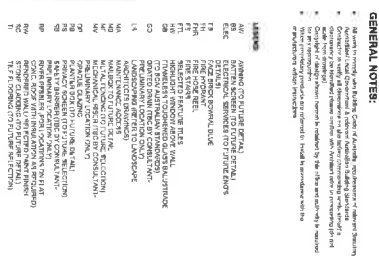
DEVELOPMENT APPLICATION

DA 102

GROUND FLOOR PLAN

JUNE 2015

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EXCITING BUILDING TO AN OFFICIAL PART
SHOWING REFINISHED

[illegible]

CLIMATE INTERACTIONS WITH THE



DA002
SITE ANALYSIS PLAN
JUNE 2015

A.B.M. No. 947/078-0106

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WOMERAH STREET

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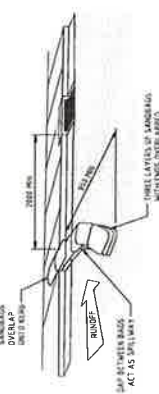
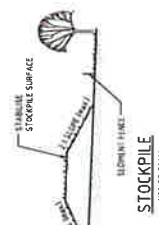
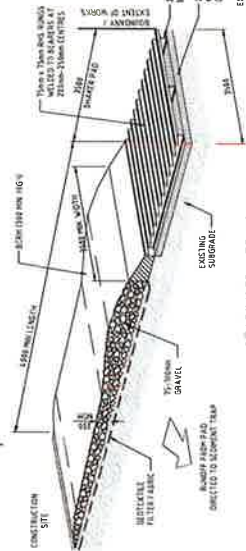
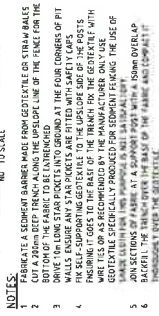
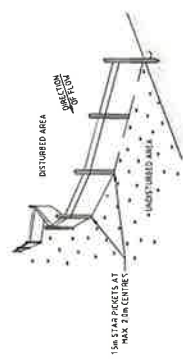
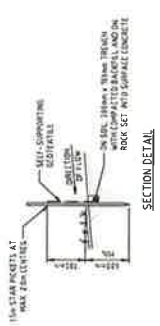
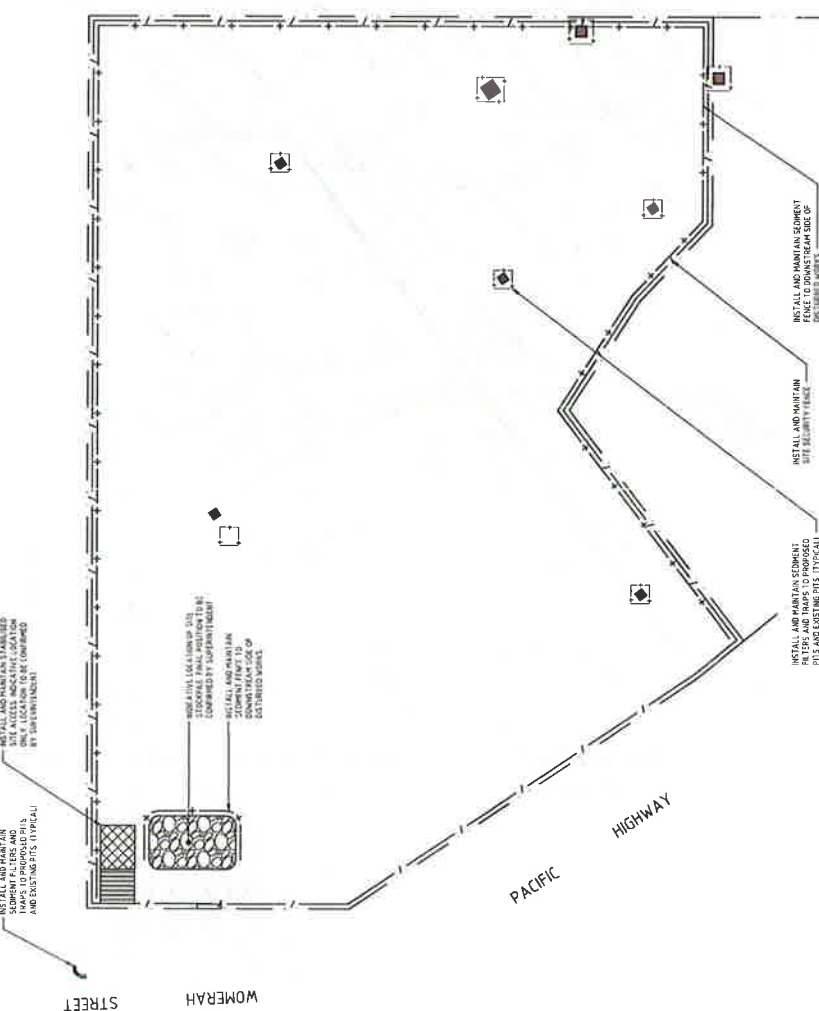
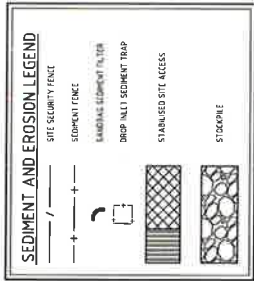
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NORTH SHORE RAILWAY LINE

SITE LOCATION

DRG NO	DRAWING TITLE
DA-181	COARSE SHEL: DRAWING SCHEDULE AND LOCALITY PLAN
DA-182	CONCEPT SCHEMATIC AND EROSION CONTROL PLAN
DA-183	CONCEPT STORMWATER MANAGEMENT PLAN
DA-184	STORMWATER DETAILS

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NOT FOR CONSTRUCTION

CIVIL DESIGN

CONCEPT SEDIMENT AND EROSION CONTROL PLAN

150063

DA2.01

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NORTHROP

Sydney

Level 11 1145 George Street Sydney NSW 2000

Phone: 02 9250 1000 Fax: 02 9250 1001 Email: northrop@northrop.com.au

1 WOMERAH STREET, TURRAMURRA

BROADSTATE GROUP PTY LTD

CLIENT

PROJECT

DATE

SCALE

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SEDIMENT AND EROSION CONTROL PLAN

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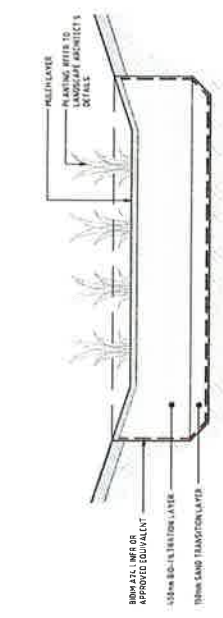
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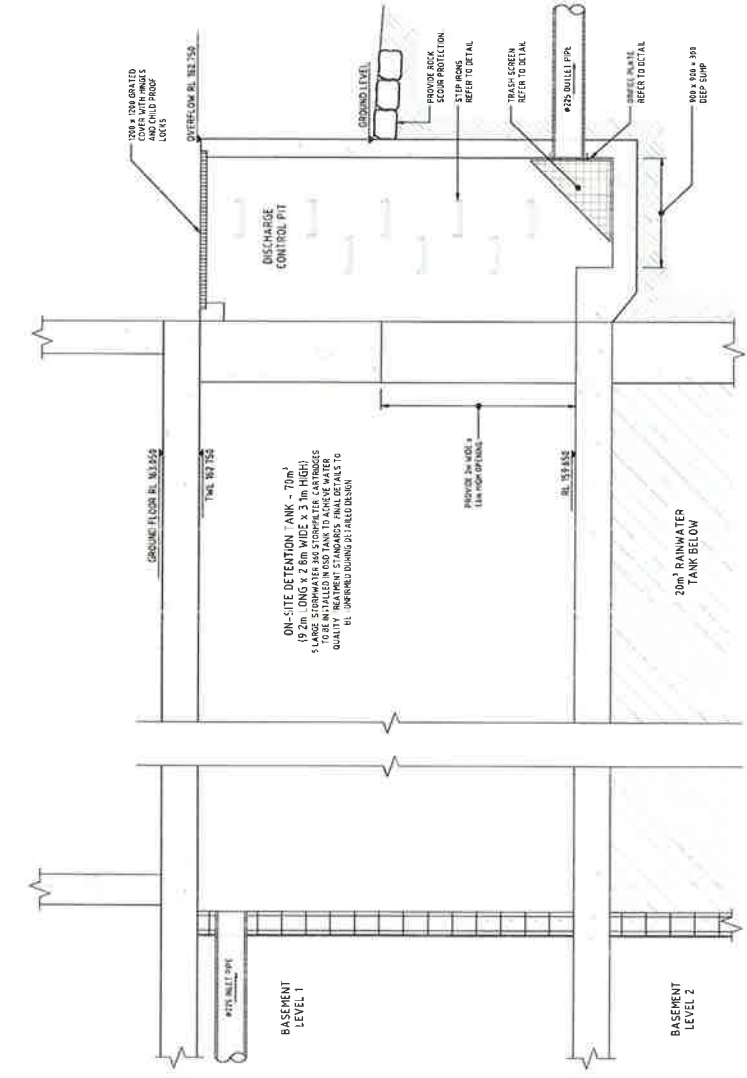
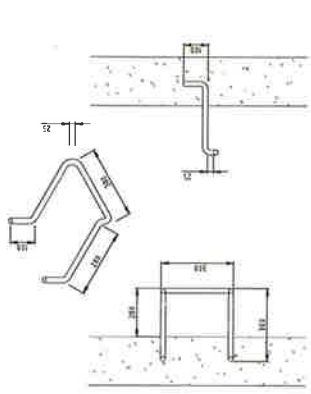
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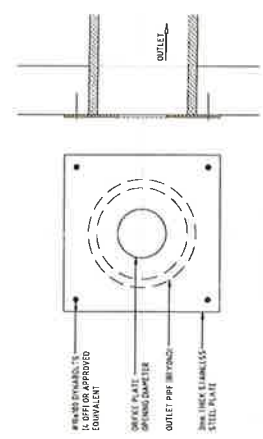
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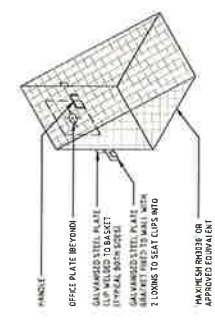
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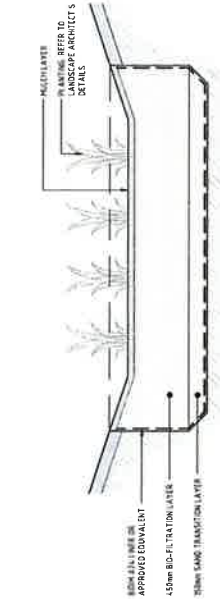


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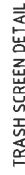


TRASH SCREEN DETAIL

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BIO-RETENTION BASIN
TYPICAL DETAIL



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150063	REVISION	1
DRAWING NUMBER	DA3.11	
DRAWING SHEET SIZE A1		

DESIGN SUMMARY

TABLE 1: DESIGN SUMMARY

ITEM	DESCRIPTION	UNIT	QUANTITY
1	STORMWATER DRAINAGE	m	1500
2	RAINWATER RE-USE	m	1000
3	GRATED DRAINAGE	m	500
4	STORMWATER TANK	m	100
5	RAINWATER TANK	m	100
6	GRATED DRAINAGE	m	500
7	STORMWATER TANK	m	100
8	RAINWATER TANK	m	100
9	GRATED DRAINAGE	m	500
10	STORMWATER TANK	m	100

STORMWATER DRAINAGE

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RAINWATER RE-USE

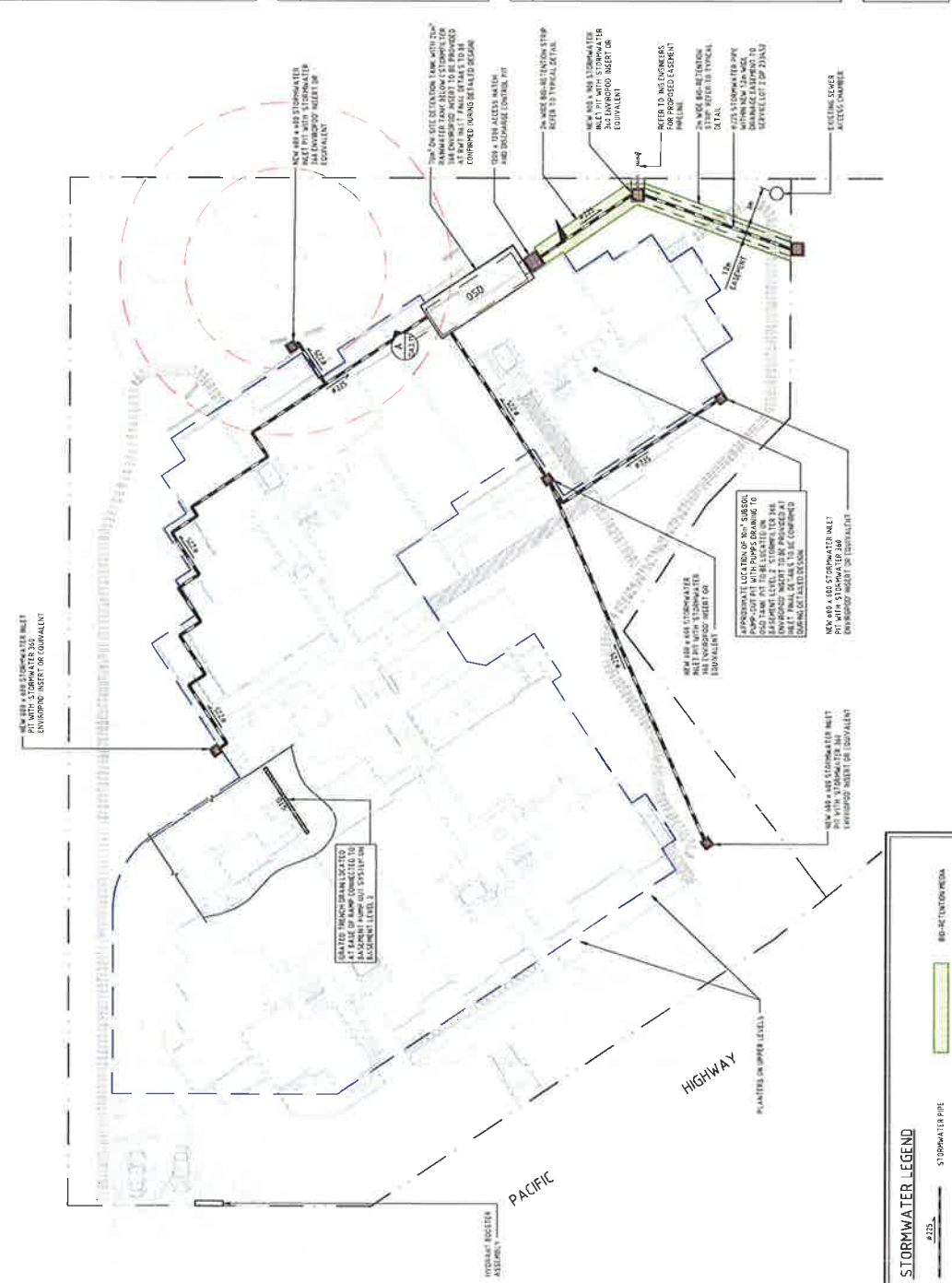
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- 2. PROVIDE RAINWATER RE-USE SYSTEM TO SUPPLY...
- 3. PROVIDE RAINWATER RE-USE SYSTEM TO SUPPLY...
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- 10. PROVIDE RAINWATER RE-USE SYSTEM TO SUPPLY...

GENERAL NOTES

THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE CURRENT PROJECT CONTRACT AND ANY OTHER DOCUMENTS REFERRED TO IN THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK.

STORMWATER MANAGEMENT

ALL STORMWATER MANAGEMENT MEASURES SHOWN ON THIS DRAWING HAVE BEEN PREPARED FOR DEVELOPMENT OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK.



STORMWATER LEGEND

STORMWATER PIPE	STORMWATER INLET	STORMWATER TANK	STORMWATER OUTLET
STORMWATER PIPE	STORMWATER INLET	STORMWATER TANK	STORMWATER OUTLET
STORMWATER PIPE	STORMWATER INLET	STORMWATER TANK	STORMWATER OUTLET
STORMWATER PIPE	STORMWATER INLET	STORMWATER TANK	STORMWATER OUTLET

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TABLE 2: PROJECT INFORMATION

ITEM	DESCRIPTION	UNIT	QUANTITY
1	STORMWATER DRAINAGE	m	1500
2	RAINWATER RE-USE	m	1000
3	GRATED DRAINAGE	m	500
4	STORMWATER TANK	m	100
5	RAINWATER TANK	m	100
6	GRATED DRAINAGE	m	500
7	STORMWATER TANK	m	100
8	RAINWATER TANK	m	100
9	GRATED DRAINAGE	m	500
10	STORMWATER TANK	m	100

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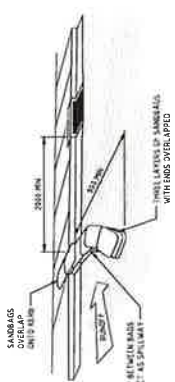
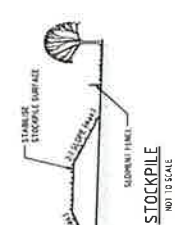
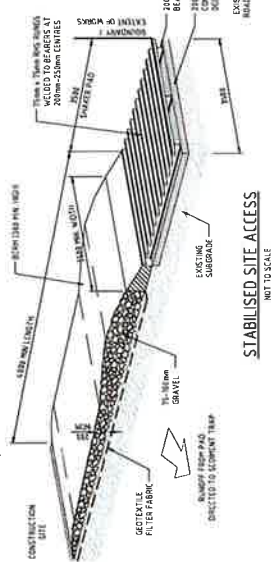
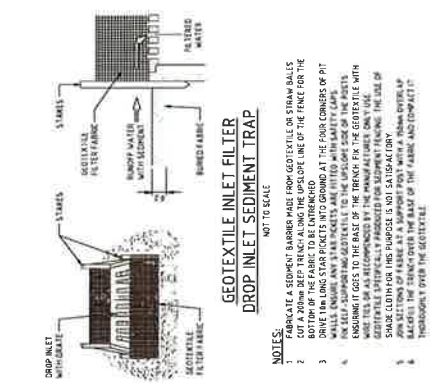
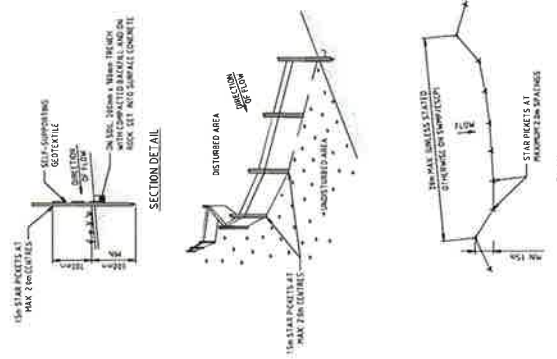
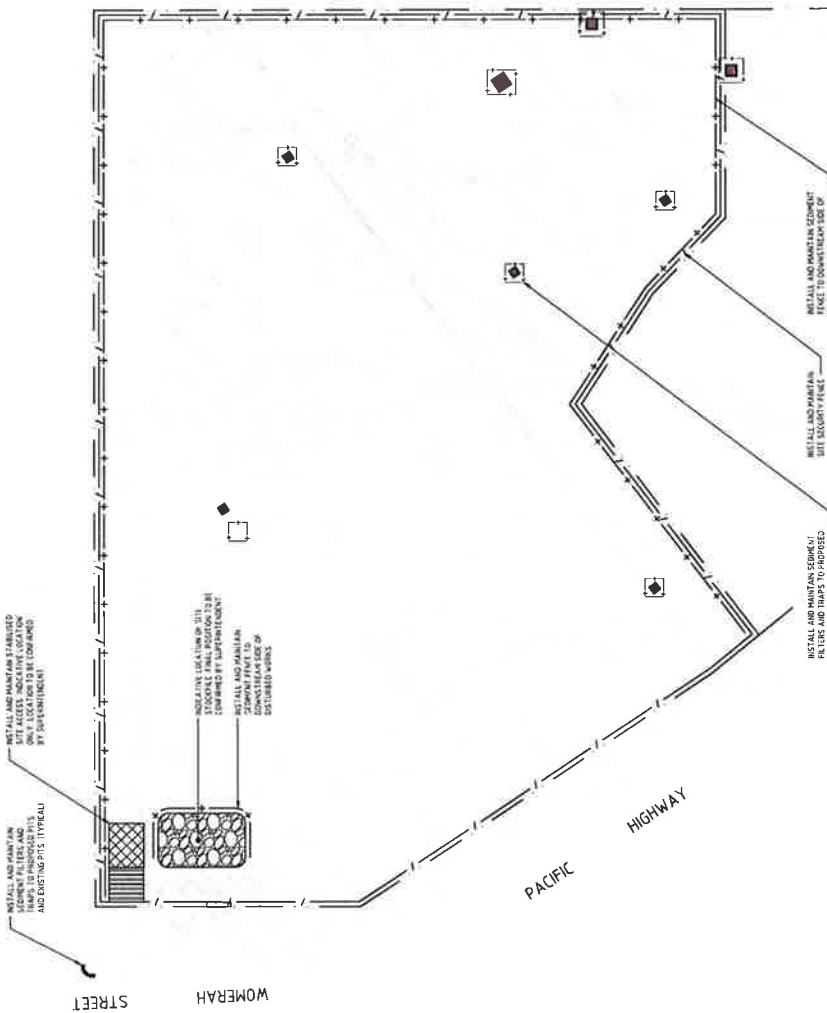
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Email: planning@planning.com.au



SEDIMENT FENCE

NOT TO SCALE

- [illegible]

STABILISED SITE ACCESS

NOT TO SCALE

- THE TEMPORARY ACCESS SHALL BE MAINTAINED IN A CONDITION THAT PREVENTS TRAILING OR FLOWING OF SLURRY ONTO THE PUBLIC RIGHTS OF WAY.
- THIS MAY REQUIRE PRECISE TOP DRESSING WITH ADDITIONAL GRAVEL AS CONDITIONS DEMAND AND REAR AND/OR CLEANOUT OF ANY REMAINDER PRECISELY TO TRAP SLURRY.
- ALL SEDIMENT SHALL BE DISPOSED, WASHED OR FLOCKED INTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.
- INSTALL BARRIERS ON EITHER SIDE OF SHOULDER AND
- TO ENSURE VEHICLES ARE CLOSED IN TO THE PAD

MAINTENANCE

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NOTES:

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1 WOMERAH STREET, TURRAMURRA

CIVIL DESIGN PACKAGE



DRAWING SCHEDULE	
DRG NO	DRAWING TITLE
DA1.01	COVER SHEET, DRAWING SCHEDULE AND LOCALITY PLAN
DA1.01	CONCEPT SEDIMENT AND EROSION CONTROL PLAN
DA1.01	CONCEPT STORMWATER MANAGEMENT PLAN
DA1.11	STORMWATER DETAILS

REVISION	DESCRIPTION	DESIGNED (A/E/C)	DATE
1	ISSUED FOR DEVELOPMENT APPLICATION	MS	25.09.15

CLIENT
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ARCHITECT
BROADSTATE GROUP PTY LTD
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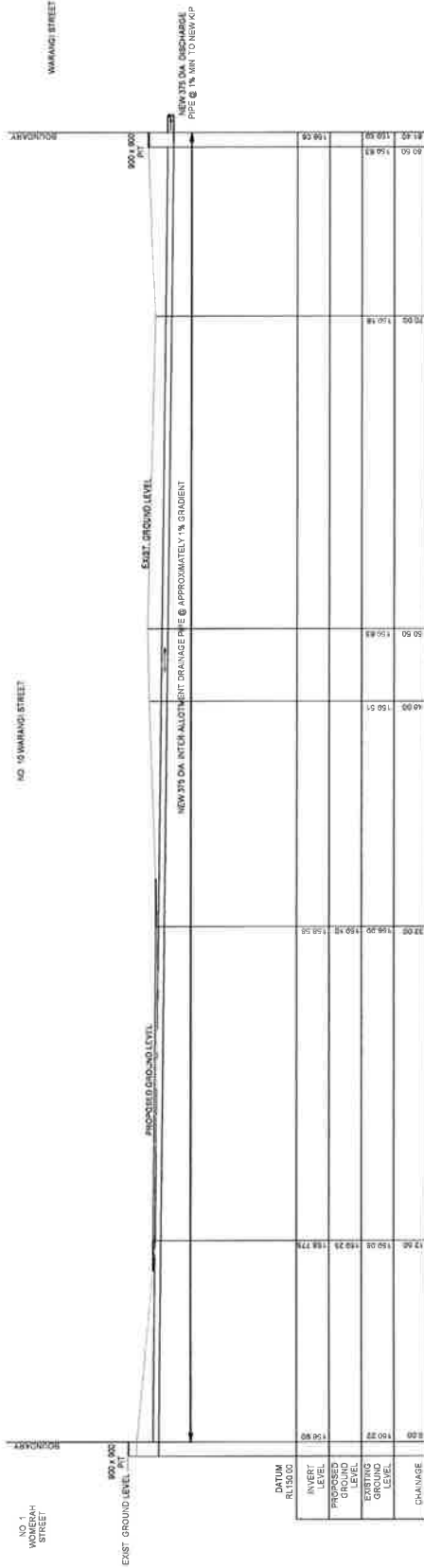


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PROJECT
1 WOMERAH STREET, TURRAMURRA

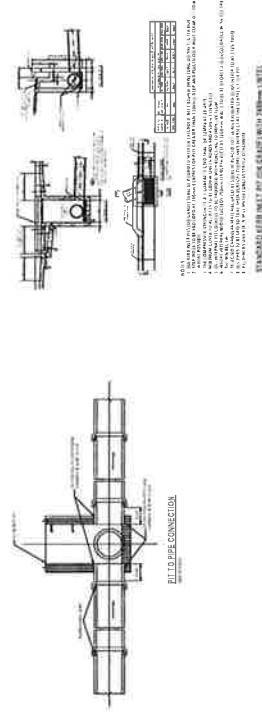
DRAWING TITLE	CIVIL DESIGN	CIVIL NUMBER	150063
COVER SHEET, DRAWING SCHEDULE AND LOCALITY PLAN	DA1.01	1	1

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LONGITUDINAL SECTION OF 375mm DIA/ INTER-ALLOTMENT DRAINAGE PIPE

SCALE 1:100



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Do not scale off drawings.

Project		Drawing No	
Proposed Residential Flat Development		Longitudinal Section and Details	
A1		Date	
1 Womerah Street Turramurra NSW 2074		April 2014	
Client		Scale	
Broadstare Group Pty Ltd		As Shown @ A0	
		Drawing No	
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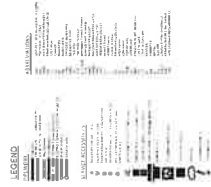
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WARRANGI

STREET

HIGHWAY

PACIFIC



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No	Revision	Date
C	Amended Building Layout	1 Mar 2015
B	Relocation of OSD Tank and Easement	4 Nov 2014
A	Development Application	3 May 2014
Project		
Proposed Residential Flat Development		
Drawing No		
Proposed Easement Plan		
Client		
Broadstate Group Pty Ltd		
Drawn by		
N. Evans		
Checked by		
I. Tan		
Designed by		
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BALDWIN HILLS NSW 2755		
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E: info@ingconsult.com.au		
Date		
April 2014		
Scale		
1: 250 @ A0		
Sheet No		
5 of 7		

1 Womerah Street, Turramurra

Heritage Impact Statement

Report

Report prepared for Broadstate Group Pty Ltd

June 2015



Report Register


The following report register documents the development and issue of the report entitled 1 Womerah Street, Turrumurra—Heritage Impact Statement, undertaken by GML Heritage Pty Ltd in accordance with its quality management system.

Job No.	Issue No.	Notes/Description	Issue Date
15-0346	1	Report	23 June 2015

Quality Assurance

GML Heritage Pty Ltd operates under a quality management system which has been certified as complying with the Australian/New Zealand Standard for quality management systems AS/NZS ISO 9001:2008.

The report has been reviewed and approved for issue in accordance with the GML quality assurance policy and procedures.

Project Manager:	Sinclair Croft	Project Director & Reviewer:	David Logan
Issue No.	1	Issue No.	1
Signature		Signature	
Position:	Senior Consultant	Position:	Partner
Date:	23 June 2015	Date:	23 June 2015

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1.0 Introduction

1.1 Background

GML Heritage Pty Ltd (GML) has been commissioned by Broadstate Group Pty Ltd to prepare a Heritage Impact Statement (HIS) for a revised development application (DA) involving the amalgamation of four lots, the demolition of existing buildings and construction of two five-storey residential flat buildings at 1 Womerah Street, Turrumurra. The DA has been prepared by PBD Architects for submission to Ku-ring-gai Council.

We understand that the previous planning instruments are still the applicable instruments for the revised DA. Therefore, this HIS identifies and evaluates heritage impacts of the DA on the heritage items in the vicinity and the Ku-ring-gai Avenue Urban Conservation Area against the heritage provisions of the Ku-ring-gai Planning Scheme Ordinance (KPSO)—and within the development control plan (DCP) and draft DCP that applied at the time of lodgement of the DA. We understand that the provisions contained in the current instruments are similar and less restrictive than the previous provisions. This HIS also assesses the impacts associated with the revised DA on heritage items listed in the *Ku-ring-gai Local Environmental Plan 2015* (LEP 2015) and the former Draft KLEP 2013.

1.2 Site Identification

The subject site is an amalgamation of four individual lots at the corner of the Pacific Highway and Womerah Street, Turrumurra, comprising:

- Lot 1, DP 220195, aka 1 Womerah Street;
- Lot 3, DP 220195, aka 1A Womerah Street;
- Lot 1, DP 233452, aka 1189 Pacific Highway; and
- Lot 2, DP 220195, aka 1197 Pacific Highway.

The subject site is located within the Ku-ring-gai Local Government Area (LGA). The extent and location of existing structures and landscaping is detailed in the aerial photograph (Figures 1.1 and 1.2).

1.3 Heritage Context

The properties comprising the subject site are not identified as heritage items on the KPSO or LEP 2015. The subject site is located within the Ku-ring-gai Avenue Urban Conservation Area (Figure 1.4), and is in the vicinity of a number of listed heritage items. It is also located in the Urban Conservation Area 20—Ku-ring-gai Avenue, Turrumurra and is adjacent to the southern end of the Ku-ring-gai Avenue Heritage Conservation Area (C6A) as identified in the LEP 2015 (Figure 1.3). Heritage items in the vicinity are the:

- dwelling house located at 1187 Pacific Highway (I794)—adjacent to the south;
- dwelling house located at 1284 Pacific Highway (I796)—opposite;
- dwelling house located at 3 Womerah Street (I814)—adjacent to the north;
- dwelling house located at 5 Womerah Street (I815)—to the north; and

- dwelling house located at 14 Warrangi Street (1803)—to the east.

1.4 Methodology and Terminology

This HIS has been prepared in general accordance with the principles outlined in the document entitled *Statements of Heritage Impact* (NSW Department of Urban Affairs and Planning and the Heritage Council of NSW, First Edition, 1996). It is also consistent with the relevant principles and guidelines of *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance 2013* (the Burra Charter).

This HIS considers the relevant heritage provisions set out in the following planning controls and policy control documents:

- Ku-ring-gai Planning Scheme Ordinance (KPSO);
- Ku-ring-gai LEP 2015; and
- Ku-ring-gai DCP 2015—Section B, Part 20—Heritage Items and Heritage Conservation Areas.

Other resources which were utilised in the preparation of this HIS include:

- Heritage Conservation in Ku-ring-gai—Guidelines for Development;
- Review of Potential Heritage Items in the Ku-ring-gai LGA (April 2006) prepared by Perumal Murphy Alessi Heritage Consultants;
- Review of Potential Heritage Items from the Post-War Period (September 2011) prepared by Perumal Murphy Alessi Heritage Consultants; and
- The Ku-ring-gai Potential Heritage Conservation Areas North Review (November 2010) prepared by Paul Davies Pty Ltd Architects Heritage Consultants.

1.5 Limitations

Historical research and heritage assessment of the existing buildings on the subject site has not been undertaken, nor was this considered to be necessary.

The subject site is not classified in the KPSO or the LEP 2015 as being an archaeological site or an area of Aboriginal heritage value. Therefore, this report does not consider historical archaeological potential or Aboriginal cultural heritage. Consultation with Aboriginal persons or groups has not been undertaken as part of this study.

This HIS is essentially an assessment of the building envelope within its heritage context as the draft architectural drawings assessed do not contain information on materials, details or landscaping.

1.6 Author Identification

This report has been prepared by Sinclair Croft, Senior Consultant. Previous research and report input was provided by Julian Siu, Consultant. Input and review has been provided by David Logan, Partner of GML.

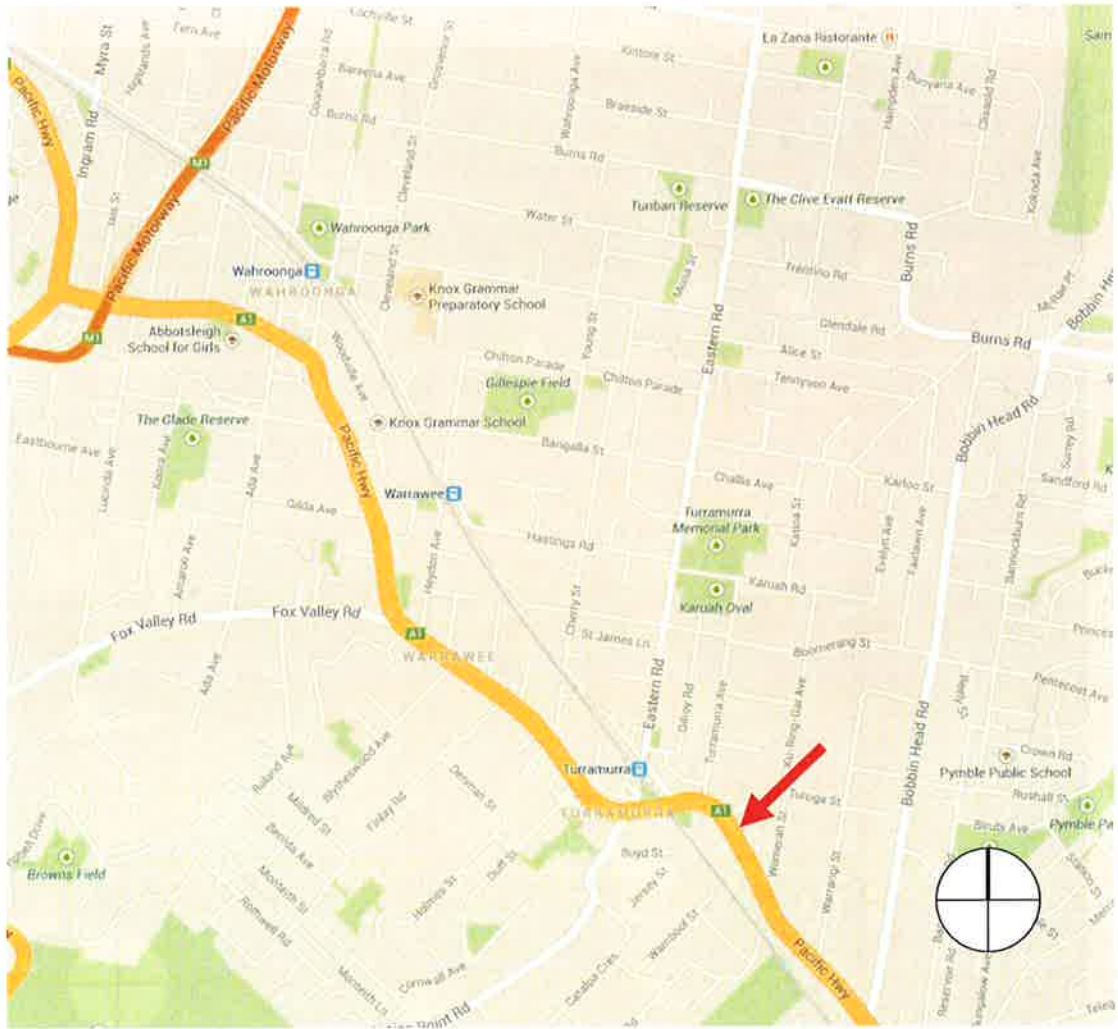


Figure 1.1 Location plan showing the subject site indicated by the red arrow. (Source: Google Maps 2014)



Figure 1.2 Aerial photograph showing the subject site outlined and shaded in red. (Source: Google Maps 2014)

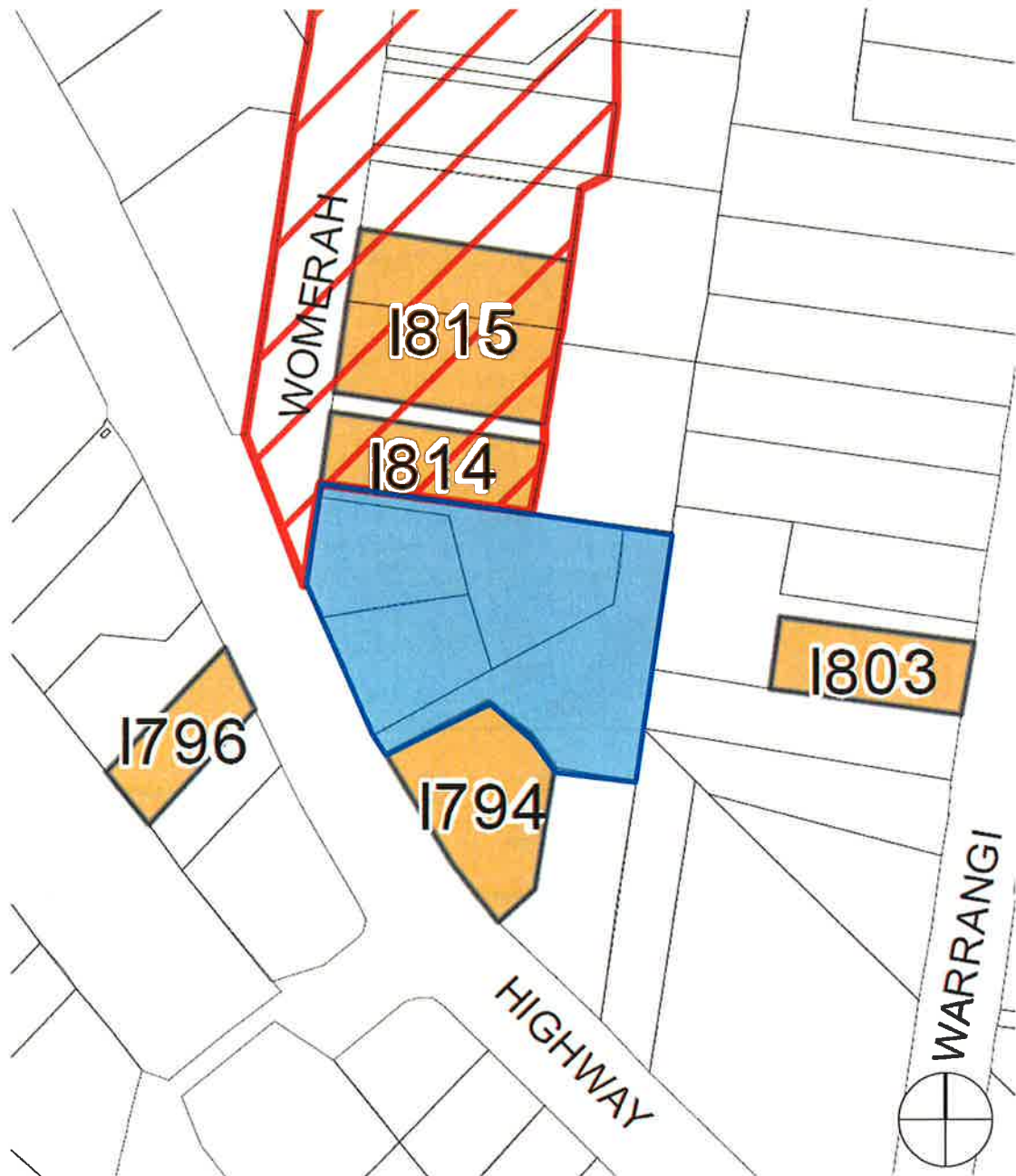


Figure 1.3 Extract of heritage map showing the heritage items (shaded in brown) and the Ku-ring-gai Avenue Conservation Area (hatched in red). The subject site is outlined and shaded in blue. (Source: Ku-ring-gai LEP 2015, Heritage Map 7)

URBAN CONSERVATION AREA 20 - KU-RING-GAI AVENUE



Figure 1.4 Map showing the extent of the Ku-ring-gai Avenue Urban Conservation Area 20 (within the dashed black box). The subject site is outlined in red and shaded in green. Note: This DCP has been repealed and the conservation area boundary is as shown in Figure 1.3—ie it does not include the subject property. (Source: Appendix C of Development Control Plan 55—Railway/Pacific Highway corridor and St Ives Centre p 94).

2.0 Heritage Context

2.1 Introduction

As we understand it, the previous planning instruments are still the applicable instruments for this DA revision. Therefore, this HIS identifies and evaluates heritage impacts on the heritage items in the vicinity as well as on the Ku-ring-gai Avenue Conservation Area—as identified in the KPSO, in the Draft KLEP 2013 and DCP 2015.

The four properties which make up the subject site are not identified as heritage items in the KPSO.

2.2 Heritage Items in the Vicinity

The following five heritage items are identified in the KPSO.

2.2.1 1187 Pacific Highway (I794)

The SHI citation states that this building was built between 1901 and 1920, and the reason for listing is 'architectural, municipal significance'.

2.2.2 1284 Pacific Highway (I796)

The SHI citation states that this building was built between 1901 and 1920, and the reason for listing is 'architectural, municipal significance'.

2.2.3 3 Womerah Street 'Creaser Residence' (I814)

The Review of Potential Heritage Items from the Post-War Period (September 2011) identified this building as being designed by architect Peter Muller and built in 1962. It states that the building:

should be listed as a heritage item as a good and highly intact example of a Post-War dwelling that demonstrates the emerging organic and 'romantic' approach to modern architecture and one of only two houses designed by prominent architect Peter Muller remaining in the Ku-ring-gai area.

2.2.4 5 Womerah Street 'Oakburn' (I815)

The Ku-ring-gai Potential Heritage Conservation Areas North Review (November 2010) identified this building as a house designed by architect Leslie Wilkinson in 1940.

This report also identified Womerah Street as: '... spectacular and highly significant remnant Blue Gum High Forest trees as street trees. Substantial gardens obscure houses. Blocks frequently feature hedging rather than front fences. There is soft edging along most of the street.'

2.2.5 14 Warrangi Street (I803)

The Review of Potential Heritage Items in the Ku-ring-gai LGA (April 2006) recommended that this building should be included as a heritage item for the following reasons:

- *As a fine and largely intact example of a modest size Inter-War Bungalow style residence with intact features and Art Nouveau stylistic detail. Although the house has undergone recent modifications, these additions are sympathetic and not readily visible from the street;*
- *The building is largely intact externally and has retained a high degree of aesthetic significance; and*
- *The building is a prominent item in the street and strong contributor to the character of the immediate area.*

The following five buildings were identified as draft heritage items in the Draft KLEP 2013. They are now listed as heritage items in the Ku-ring-gai LEP 2015.

2.2.6 1282 Pacific Highway (I795)

There is no information in the State Heritage Inventory (SHI) for this draft heritage item.

2.2.7 3 Womerah Street 'Creaser Residence' (I814)

The Review of Potential Heritage Items from the Post-War Period (September 2011) identified this building as being designed by architect Peter Muller and built in 1962. It states that the building:

should be listed as a heritage item as a good and highly intact example of a Post-War dwelling that demonstrates the emerging organic and "romantic" approach to modern architecture and one of only two houses designed by prominent architect Peter Muller remaining in the Ku-ring-gai area.

2.2.8 5 Womerah Street 'Oakburn' (I815)

The Ku-ring-gai Potential Heritage Conservation Areas North Review (November 2010) identified this building as a house designed by architect Leslie Wilkinson in 1940.

This report also identified Womerah Street for:

spectacular and highly significant remnant Blue Gum High Forest trees as street trees. Substantial gardens obscure houses. Blocks frequently feature hedging rather than front fences. There is soft edging along most of the street.

2.2.9 14 Warrangi Street (I803)

The Review of Potential Heritage Items in the Ku-ring-gai LGA (April 2006) recommended that this building should be included as a heritage item for the following reasons:

- *As a fine and largely intact example of a modest size Inter-War Bungalow style residence with intact features and Art Nouveau stylistic detail. Although the house has undergone recent modifications, these additions are sympathetic and not readily visible from the street;*
- *The building is largely intact externally and has retained a high degree of aesthetic significance; and*
- *The building is a prominent item in the street and strong contributor to the character of the immediate area.*

2.2.10 20 Warrangi Street (I133)

There is no information in the SHI for this draft heritage item.

2.3 Ku-ring-gai Avenue Heritage Conservation Area (DCP 2015)

The Ku-ring-gai Local Centres Development Control Plan contains the following details of the Ku-ring-gai Avenue Heritage Conservation Area:

Description: *Ku-ring-gai Avenue from the corner of Womerah Street to Boomerang Street features spectacular and highly significant mature Brush Box street tree planting interspersed with Jacarandas. The street is wide with concrete kerbing on both sides and includes substantial gardens that obscure the many fine houses that line the street.*

Built Character: *A predominance of fine large two storey Federation period mansions on large lots with large gardens, interspersed with a smaller number of later one and two storey houses.*

Materials: *The buildings from the key period of significance for the area (late nineteenth century and Federation period 1901-1914) and the 1920s are predominantly brick with slate or terracotta tile roofs and timber framed windows. Later*

housing is frequently rendered brick or non-traditional (e.g. blond) brickwork, with concrete tiled roofs. Traditional front fencing is generally timber picket, brick, cast iron palisade or sandstone. Front fences to later houses are frequently high timber lap and cap or brush fencing, however many later houses have no front fences.

Aesthetic Significance: Ku-ring-gai Avenue is of aesthetic significance as one of the most prestigious Federation period streets in Sydney. It derives its fine aesthetic qualities from its collection of grand, frequently architect designed Federation period residences set in generous and well-proportioned garden settings which blend into the mature Brush Box avenue street tree planting.

The Heritage Data Form for the Ku-ring-gai Avenue Heritage Conservation Area contains the following Statement of Significance:

The Ku-ring-gai Avenue Heritage Conservation Area is of historic, aesthetic, social and technological significance as one of the most socially prestigious Federation period streets in Sydney and potentially New South Wales. Ku-ring-gai Avenue derives its fine aesthetic qualities from its collection of grand Federation period residences set in generous and well-proportioned garden settings which blend into the mature brush box avenue street tree planting. Many of these residences were designed by prominent Sydney architects, including Thomas Frame Cosh (of Slatyer & Cosh, Spain & Cosh), Arthur Stanton Cook, G.M. Pitt junior, Robertson & Marks and Sir John Sulman.

The Avenue is also of historical and social significance for its association with the important artist Grace Cossington Smith, whose works were inspired by her home and its setting; and for its association with prestigious and influential early residents including the Penfold family (stationers) and many of Sydney's most prominent early twentieth century architects, including Charles Slatyer, Thomas Frame Cosh, John Spencer Stansfield, Sir John Sulman and Arthur Stanton Cook.

2.4 Ku-ring-gai Avenue Urban Conservation Area (DCP 55, now repealed)

Appendix C of Development Control Plan 55—Railway/Pacific Highway corridor and St Ives Centre contains the following description of the Ku-ring-gai Avenue Conservation Area:

The Ku-ring-gai Avenue, Turramurra Urban Conservation Area provides an excellent townscape comprised of mainly two storey mansions dating from the 1890 and set in well-established gardens. There is a fine collection of street tree plantings including Brush Box. The streetscapes are strongly characterised by fine fences.

Appendix B of Development Control Plan 55 contains the following Statement of Heritage Significance for Ku-ring-gai:

- *The heritage of Ku-ring-gai comprises a rare blend of fine domestic architecture within a landscape of indigenous forests and exotic plantings and garden.*

Ku-ring-gai as a whole is of national and state heritage significance because of:

- *The outstanding quantity, quality, depth and range of its twentieth century architecture. It contains houses designed by many of Australia's prominent twentieth century architects which have influenced the mainstream of Australian domestic architecture nationally including John Sulman, Howard Joseland, Hardy Wilson, Leslie Wilkinson and Harry Seidler.*
- *The evidence it provides of twentieth century town planning and conservation philosophies – the segregation of residential areas from other urban uses, subdivision patterns which reflect a range of suburban aspirations, the use of residential district proclamations to create and retain domestic environmental amenity, street tree planting and post-war neighbourhood planning.*
- *The railway whose presence demonstrates the bargaining power of public works and services in gaining votes for federation.*

Ku-ring-gai is of regional significance for:

- *The evidence it retains in its surrounding national parks, along its creek lines and in its public and private gardens, remnants of the original Blackbutt and Blue Gum forests and associated woodlands, understoreys and dependent fauna – a resource of wide ranging scientific research potential.*
- *Its coherent aesthetic values resulting from a combination of elevated locations, good soils, large trees, extended views, fine architecture and established gardens inspiring artists such as Grace Cossington Smith and Lionel Lindsay, visionaries such as John Sulman and J.J.C Bradfield and writers such as Ethel Turner to honour Ku-ring-gai with their works.*
- *For the technical and design innovation in its buildings and gardens – demonstrating some of the earliest examples of Australia's first school of architecture at Sydney University, some of the earliest use of cavity walls, Marseilles tiles and innovative landscape designs of renowned exponents such as Edna Walling, Paul Sorensen and Jocelyn Brown.*

Ku-ring-gai is also of heritage significance for:

- *The evidence provided by its rich history and all its sequential layers – from Aboriginal occupation, very early timber getting, the long period of relative isolation from built suburbia, orcharding and farming followed by the rapid growth of suburban development in response to elevated topography, 'clean air' and the establishment of the railway.*
- *The evidence offered by its built landscape and garden design incorporating a variety of horticultural styles and in harmony with the natural landscape such as those at Swain Gardens, Bobbin Head, large estate private gardens and the gardens at railway stations and well-designed gardens of cultivated botanical specimens such as Eryldene and the Ku-ring-gai Wildflower Garden.*

Appendix B of Development Control Plan 55 defines the character of Ku-ring-gai as:

- *Large indigenous and exotic trees whose canopies form the skyline, line the streets and dominate garden spaces throughout the whole area; and*
- *The unique presentation of private gardens which are given due importance in residential settings and designs.*

Nature of development

- *A unique predominance of residential development, with a notable absence of industry or large commercial areas. Large educational establishments and suburban retail/service centres are the other major land uses.*
- *Development which responds to the landform - the spine of the heavily incised plateau carries the main transport routes and the earliest development; successive feeder roads and suburban development follow tributary ridges, leaving the steep gullies on the east and west of the spine as bushland reserves and national parks.*

Pattern of development

- *The predominant form of development is of individual houses sited on large blocks of land and surrounded by garden space.*
- *Houses are separated by generous side setbacks and curtilages.*
- *Fences define the boundary of each allotment; front fences and/or hedges mark the street alignment and allow pedestrians to look over to the garden beyond. Particular areas of post 1945 subdivision are characterised by an absence of front fences combined with a lack of solid side and/or rear fences presenting a continuity of open landscape vistas between adjoining properties.*

- *Garages/carports are generally sited at the side or back of each house. They are most commonly accessed by single width driveways which have minimal paving. Runoff is therefore largely absorbed within each residential allotment into the predominant green surfaces of lawn, garden beds, shrubberies and trees.*

Trees and gardens

- *Older residential developments along the main spine are characterised by larger blocks of land and gardens combining exotic, deciduous and indigenous plantings. More recent development is away from the main spine and is generally on smaller blocks of land with a predominance of indigenous and exotic plantings.*
- *Street tree plantings include informal remnants of the forest, others are of formal plantings made over a period of 100 years. Street tree plantings may also feature grassed or planted nature strips and verges and are largely contributory to the unique characteristic of Ku-ring-gai's streetscapes.*

Materials

- *Houses and shops are mostly built of unpainted brick with tile roofs. There are some important pockets of early timber houses. Walls of render or timber shingles and iron or slate roofs characterise some of typical building materials.*



Figure 2.1 1187 Pacific Highway. (Source: SHI Citation, NSW Environment and Heritage)



Figure 2.2 1187 Pacific Highway view from the driveway. (Source: GML, January 2014)



Figure 2.3 West elevation of the house at 3 Womerah Street. (Source: Ku-ring-gai Potential Heritage Conservation Areas North Review, November 2010, p 87)



Figure 2.4 Eastern end of the north elevation of the house at 3 Womerah Street. (Source: Ku-ring-gai Potential Heritage Conservation Areas North Review, November 2010, p 87)



Figure 2.5 5 Womerah Street. (Source: Ku-ring-gai Potential Heritage Conservation Areas North Review, November 2010, p 87)



Figure 2.6 5 Womerah Street. (Source: Ku-ring-gai Potential Heritage Conservation Areas North Review, November 2010, p 87)

3.0 Proposal

The following description of the proposed works for the revised DA has been prepared based on information provided by Andrew Martin Planning Pty Ltd.

The proposed development includes a five-level residential development consisting of two buildings. A basement carparking area consisting of two levels will sit beneath the two buildings. The design of the building is articulated and asymmetrical. Level 4 steps back in from the lower levels. The two buildings will be separated by common open space. Primary entry to the development will be via the Pacific Highway, with secondary entry from Womerah Street. The proposal will include deep soil areas adjacent to most of the boundaries providing opportunities for landscape screening of buildings with trees.

3.1 Resources

The assessment of heritage impacts is based on preliminary drawings prepared by PBD Architects Pty Ltd as outlined below:

Drawing No.	Title	Date
DA 100	Basement Level 2	May 2015
DA 101	Basement Level 1	May 2015
DA 102	Ground Floor Plan	May 2015
DA 103	Level 1 Plan	May 2015
DA 104	Level 2 Plan	May 2015
DA 105	Level 3 Plan	May 2015
DA 106	Level 4 Plan	May 2015
DA 200	Building A—SW+NE Elevation	May 2015
DA 201	NW+SE Elevation	May 2015
DA 202	Building B—SW+NE Elevation	May 2015
DA 300	Section AA, BB & CC	May 2015
DA 301	Section DD, EE, FF	May 2015

4.0 Assessment of Heritage Impact

4.1 Introduction

This HIS is an assessment of the building envelope within its heritage context—as the draft architectural drawings assessed do not contain information on materials, details or landscaping.

We understand that the previous planning instruments are still the applicable instruments for this DA revision. Therefore, this HIS identifies and evaluates any heritage impacts associated with the proposal on the heritage items in the vicinity as well as on the Ku-ring-gai Avenue Conservation Area—as identified in the KPSO, the Draft KLEP 2013 and Draft DCP 2013.

4.2 Demolition of Existing Buildings

The proposal involves the demolition of the four existing dwellings on the subject site: 1 Womerah Street, 1A Womerah Street, 1189 Pacific Highway and 1197 Pacific Highway. These are not identified as heritage items in the KPSO or as heritage items on the Ku-ring-gai LEP 2015.

These buildings are not significant in their own right and do not contribute to the visual setting of listed or draft heritage items in the vicinity, which are located in Womerah Street and on the Pacific Highway. Their demolition would not adversely impact the heritage values of the heritage items or the conservation area in the vicinity.

4.3 Proposed Development

The potential impact of the proposed development on the heritage items in the vicinity of Womerah Street and the Pacific Highway, particularly their visual setting, needs to be considered. Womerah Street is predominantly single or two-storey free-standing residential dwellings set back from the street alignment behind substantial front gardens which often obscure houses. Womerah Street also has 'spectacular and high significant remnant Blue Gum High Forest trees as street trees'¹ and soft edging along most of the street, which adds to the vegetated context.

There are higher density residential flat buildings (similar to what is proposed) in the vicinity along the Pacific Highway, the closest being to the north of the subject site across Womerah Street, at 1203–1209 Pacific Highway (2a Womerah Street) (Figure 4.1). This development is five storeys, contains fifteen apartments and a basement car park and was built in 2005. There is also another similar high density building to the south of the subject site at the corner of the Pacific Highway and Warrangi Street (Figure 4.2).

With an overall height of five storeys, the scale and mass of the proposed new building is substantially greater than the single lot dwellings in its immediate vicinity. However, the main frontage of the building would be to the Pacific Highway, notwithstanding that a secondary entry is located on Womerah Street. The built form is distributed over two buildings with recesses incorporated to articulate the built form.

The ground floor of the proposed new building is set back approximately 9 metres from Womerah Street and the Pacific Highway. The building form also steps back above the third floor. The setback of the building form away from the boundaries (in particular the north and south boundaries), and the reduction in floor plate sizes as height increases, would assist in creating physical and visual separation from the adjacent listed heritage items.

The architectural character for the proposed new building is contemporary and does not imitate the character of the surrounding properties.

Existing trees on the subject site will be retained. Mature tree planting and screen planting along all the boundaries of the subject site, and along the driveway and in the communal open space, will provide visual screening between the proposed development and the listed heritage items. It will also contribute to the vegetated setting of Womerah Street and the Ku-ring-gai Avenue Urban Conservation Area. Deep soil areas adjacent to the boundaries of the site, in between the proposed new buildings and the adjoining heritage item at 1187 Pacific Highway, will be a visual benefit providing opportunities for landscape screening of the development from the heritage item and other nearby development.

4.4 Heritage Items in the Vicinity

4.4.1 1187 Pacific Highway

This heritage item is a two-storey brick dwelling with tiled roof on a large site with a native garden. It fronts the Pacific Highway with a timber fence and substantial tree planting along its western boundary, obscuring views from the main road. There are only limited views of this heritage item from the public domain, primarily from its driveway (when the gate is not closed) which is located to the south of the building.

Until such time as the proposed screen planting (trees) reach maturity, the upper levels of the proposed development would be seen as a backdrop to this heritage item in northerly views from the property's driveway and (fleeting) from cars travelling north along the Pacific Highway. This would alter the heritage item's visual setting from these locations (Figures 4.3 and 4.4). However, the recommended tree planting along the subject site's southern boundary—combined with the setback of the built form and the 'stepping back' of its upper level—would assist in mitigating this impact.

Competing planning objectives, which allow for larger scale residential developments along arterial roads such as the Pacific Highway, inevitably result in an indirect visual impact on surrounding lower scale residential neighbourhoods, including heritage items. The design of the proposed new building responds to its heritage context through its setback from the south boundary and the stepping of the building form at the upper level to reduce the visual impact. Having regard to the height controls applying to the site and the planning objectives to intensify development along the Pacific Highway spine, the relatively modest impact of the proposal on the visual setting of the heritage item is considered to be reasonable.

4.4.2 1284 Pacific Highway

This heritage item is located on the opposite side of the Pacific Highway, separated from the subject site by six traffic lanes of the Pacific Highway. It is difficult to view the heritage item in conjunction with the subject site aside from distant views from further north or south along the Pacific Highway (Figure 4.5).

The development proposes to retain existing large trees on the western boundary and introduce recommended additional planting. This would maintain and enhance the physical green buffer between the heritage item on the opposite side of the Pacific Highway and the subject site.

Therefore, the proposed development would not have an adverse impact on the visual setting of this heritage item.

4.5 Draft Heritage Items in the Vicinity

4.5.1 To the North—3 Womerah Street

This heritage item is located to the north of the subject site on Womerah Street, adjoining its northern boundary. It is a low scale dwelling with a low slung roof, which is mostly screened from the public domain. Dense and substantial tree planting along the side boundary obscures the views of this heritage item from the public domain. Portions of the roof are visible above the tree canopies, but generally this building is visually contained by the tall masonry fence surrounding it, which may have been part of the original design intent.

The proposed development (towards Womerah Street) is set back from the northern boundary (common boundary with 3 Womerah Street) by approximately 9 metres. This setback space is occupied by a driveway to access the basement carpark and a 4 metre deep soil zone. The building form is also stepped at the upper level. In views south from Womerah Street, the proposed development would be seen in conjunction with the heritage item but could be partially screened by planting on the north and west boundaries.

The impact on the visual setting of the heritage item would be minimal, particularly in view of the concealed nature of the item.

4.5.2 To the North—5 Womerah Street

This heritage item is located to the north of the subject site on Womerah Street. It is a two-storey masonry dwelling with a series of gabled slate roofs, which is mostly screened from the public domain. Dense and substantial tree planting along the side boundary obscures the views of this draft heritage item from the public domain. Portions of the upper storey and roofs are visible above the tree canopies.

The proposed development is physically and visually separated from the subject site by the dwelling and landscaping at 3 Womerah Street, and the driveway to 3A Womerah Street (a battle-axe lot to the east of 3 and 5 Womerah Street). It would be difficult to read this heritage item in conjunction with the subject site, owing to the distance and vegetation in between them.

The impact on the visual setting of the heritage item would be minimal.

4.5.3 To the East—14 Warrangi Street

This heritage item is located to the east of the subject site on the next street. It is a single-storey brick dwelling with a hipped terracotta clad roof. A battle-axe property separates this heritage item from the subject site (14A Warrangi Street). There is dense and substantial planting in neighbouring properties which provides a vegetated backdrop to the heritage item and limits visual connections to the subject site.

The eastern facade of the proposed development is set back from the northeast corner by approximately 25 metres. The closest the built form comes to the eastern boundary is approximately 6 metres towards the south end of the eastern boundary. The development proposes to retain three existing large trees on the eastern boundary and supplement them with additional planting, including *Eucalyptus gummifera* and *Eucalyptus piperita* (which has a mature height of 15 metres).

Until the recommended planting reaches maturity, portions of the upper levels of the proposed development would be seen as a backdrop to this heritage item in westerly views from Warrangi Street. However, the impact on the visual setting of the heritage item would be minimal (Figure 4.6).

4.5.4 To the East—20 Warrangi Street

This draft heritage item is located to the northeast of the subject site on the next street. It is a single-storey brick dwelling with adjoining garage building and a hipped terracotta clad roof. Two properties separate this draft heritage item from the subject site (18 Warrangi Street and 3A Womerah Street). The two-storey dwelling at 18 Warrangi Street and the planting in these properties provide a vegetated backdrop to the draft heritage item and limit visual connections to the subject site.

The development proposes to retain three existing large trees on the eastern boundary, with the potential of additional planting. Until the potential planting reaches maturity, portions of the upper levels of the proposed development would be seen as a backdrop to this draft heritage item in southwesterly views from Warrangi Street. However, the impact on the visual setting of the draft heritage item would be minimal (Figure 4.7).

4.5.5 Opposite on Pacific Highway (1282 Pacific Highway)

Similar to the assessment for 1284 Pacific Highway, this heritage item is located on the opposite side of the Pacific Highway and it is difficult to view the heritage item in conjunction with the subject site.

The development proposes to retain existing large trees on the western boundary. When combined with the potential of supplementary additional plantings, the existing green buffer between the heritage item on the opposite side of the Pacific Highway and the subject site would be maintained and enhanced.

The proposed development would not have an adverse impact on the visual setting of this draft heritage item.

4.6 Ku-ring-gai Avenue Urban Conservation Area (DCP 55, now repealed)

The subject site is located within the Ku-ring-gai Avenue Urban Conservation Area (UCA 20) which was identified by the National Trust. The impact on the character of the Ku-ring-gai Avenue Urban Conservation Area would be as a result of the greater scale and bulk of the proposed development. However, there are already buildings of similar scale and bulk immediately opposite. The impacts of the subject proposal on the Ku-ring-gai Avenue UCA would not be major. It is also noted that the proposal is broadly consistent with Council's intention to conserve the character of the UCAs while allowing appropriate new medium density development. This DCP has now been repealed and the subject property is not within the listed Heritage Conservation Area.

4.7 Ku-ring-gai Avenue Heritage Conservation Area

The subject site is located adjacent to the southernmost boundary of the Ku-ring-gai Avenue Heritage Conservation Area. This area is described as containing:

a predominance of fine substantial 2 storey late 19th century and Federation period mansions, the majority in the Federation Queen Anne style, on large lots with large gardens, interspersed with a smaller number of later 1 and 2 storey houses. The overall visual impact of the area is as high-quality Federation period streetscapes, including Federation period street tree planting (Figures 4.8 and 4.9). A number of the later houses within the street (for example

5 Womerah Street, designed by architect Leslie Wilkinson in 1940) are also fine examples of their period, and potential heritage items.²

The planning objectives for larger scale residential developments along the Pacific Highway will inevitably result in some visual impact on the adjacent lower scale conservation area. However, the proposed development has the opportunity for substantial amounts of landscaping (including deep-soil landscaping) in the setback areas along all the boundaries and within the subject site. These would include large eucalypts species that have mature heights of up to 15 metres. This would enhance the existing landscape character and replenish the indigenous tree canopy of Ku-ring-gai, which is a key aspect of the Ku-ring-gai Avenue Conservation Area.

The architectural character and form of the proposed new building is contemporary and does not imitate the character of the surrounding properties.

The impact on the character of the Ku-ring-gai Avenue Conservation Area would be as a result of its greater scale and bulk at the southern end of the proposed development. However, there are already buildings of similar scale and bulk to the proposed immediately opposite. Therefore, the impacts of the subject proposal on the Ku-ring-gai Avenue Conservation Area would not be major. It is also noted that the proposal is broadly consistent with the desired future character statement for Ku-ring-gai, including: 'multi-unit housing will be in a setting where vegetation, especially in the form of tall trees, is the dominant impression.'



Figure 4.1 Existing development opposite (to the north) of the subject site at 2a Womerah Street (cnr Pacific Highway). Similar medium density development to that proposed. (Source: GML, February 2014)



Figure 4.2 Existing development south of the subject site at the corner of Pacific Highway and Warrangi Street. Similar medium density development to that proposed. (Source: GML, February 2014)



Figure 4.3 North view of the heritage item at 1187 Pacific Highway where the upper levels of the proposed development site would be seen in the background. Eventually they would be screened by the recommended planting. (Source: GML, February 2014)



Figure 4.4 Northeast view of the heritage item at 1187 Pacific Highway where the upper levels of the proposed development site would be seen in the background. Eventually they would be screened by the recommended planting. (Source: GML, February 2014)



Figure 4.5 View from the northbound lane on the Pacific Highway showing the visual relationship between the heritage item at 1284 Pacific Highway (white facade on the left) and the subject site (indicated by the red arrow). The proposed development, whilst larger and potentially visible above the tree line, would not have an adverse impact on the visual setting of the heritage item. (Source: Google Street View)



Figure 4.6 The heritage item at 14 Warrangi Street. The proposed development would be partially visible as a backdrop; however, the existing, retained and recommended supplementary tree plantings would help to mitigate this visual impact. (Source: GML, February 2014)



Figure 4.7 Draft heritage item at 20 Warrangi Street (right). The proposed development would be partially visible as a backdrop; however, the existing, retained and proposed supplementary tree plantings would help to mitigate this visual impact. Note this draft item was not included in the KLEP 2015 as a heritage item. (Source: GML, February 2014)



Figure 4.8 Main section of Ku-ring-gai Avenue, looking north from the intersection with Womerah Street. Note the mature brush box trees which contribute to the streetscape of the conservation area. The proposed development would have no impact on the visual setting of the conservation area. (Source: Ku-ring-gai Potential Heritage Conservation Areas North Review, 2010)



Figure 4.9 Womerah Street looking north. Note the street trees and landscaped verges which typify the conservation area. The proposed development would not have an adverse impact on this view. (Source: Ku-ring-gai Potential Heritage Conservation Areas North Review, 2010)

4.8 Endnotes

¹ Kuringgai Council, 'Ku-ring-gai Avenue Heritage Conservation Area (HCA C6A)', viewed 22 June 2015

<http://www.kmc.nsw.gov.au/files/15b8f332-d3b4-4a88-8c7e-a18800ce55d3/KLEP2013_exhibMar_invsheetHCA_C6A_Ku-ring-gai_Ave.pdf>

² Paul Davies Pty Ltd, Ku-ring-gai Potential Heritage Conservation Areas North Review, report prepared for Ku-ring-gai Council, November 2010, p 82.

5.0 Compliance with Heritage Planning Controls

5.1 Ku-ring-gai Planning Scheme Ordinance

Planning Control: Part VI—General Amenity and Convenience	Compliance
<p>61(D)—Heritage Conservation</p> <p>1. Objectives</p> <p><i>The objectives of this clause are as follows:</i></p> <ul style="list-style-type: none"> a) to conserve the environmental heritage of Ku-ring-gai, b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views, c) to conserve archaeological sites, d) to conserve Aboriginal objects and Aboriginal places of heritage significance. <p>(4) Effect of proposed development on heritage significance</p> <p><i>The Council must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned.</i></p>	<p>The existing buildings on the subject site are not identified as heritage items on the KPSO or heritage items on the LEP 2015. Their demolition would not adversely impact the environmental heritage of Ku-ring-gai.</p> <p>The subject site is located in the vicinity of listed heritage items and is within the Ku-ring-gai Avenue Urban Conservation Area.</p> <p>Competing planning objectives, which allow for larger scale residential developments along arterial roads such as the Pacific Highway, inevitably result in some visual impact on the surrounding lower scale residential neighbourhoods, including heritage items and conservation areas. However, the design of the proposed new buildings responds to the heritage context by setting back from the south boundary and stepping the building form at the upper level to reduce impact on the visual setting of the listed heritage items and the conservation area.</p> <p>It is understood that the proposed development will retain the existing trees on the site and includes substantial amounts of landscaping planting (including deep-soil landscaping) in the setback areas along all the boundaries within the subject site. This would enhance the existing landscape character and replenish the indigenous tree canopy of Ku-ring-gai, which is a key aspect of the Ku-ring-gai Avenue Conservation Area.</p> <p>The subject site is not identified as an archaeological site of an area with Aboriginal heritage significance.</p>

5.2 Ku-ring-gai Local Environmental Plan 2015

Planning Control: Part 5—Miscellaneous Provisions	Compliance
<p>5.10—Heritage Conservation</p> <p>1. Objectives</p> <p><i>The objectives of this clause are as follows:</i></p> <ul style="list-style-type: none"> a) to conserve the environmental heritage of Ku-ring-gai, b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views, c) to conserve archaeological sites, d) to conserve Aboriginal objects and Aboriginal places of heritage significance. <p>(4) Effect of proposed development on heritage significance</p> <p><i>The council must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned.</i></p>	<p>As above.</p>

5.3 Development Control Plan 55—Railway/Pacific Highway Corridor and St Ives Centre (now repealed)

Design Objectives	Compliance
<p>3.4 Development within an Urban Conservation Area</p> <ul style="list-style-type: none"> • <i>O-1 New residential flat development in keeping with the identified historic and aesthetic values and character of the Urban Conservation Area in which it is situated.</i> • <i>O-2 New residential flats that respect the character of, and minimise visual impact upon, the UCA and its streetscapes through appropriate design and siting.</i> • <i>O-3 New buildings that respect the character and setting of significant items in their vicinity as well as the predominant pattern of street plantings, gardens and landscape character.</i> 	<p>The subject site is located in the Urban Conservation Area 20—Ku-ring-gai Avenue, Turramurra.</p> <p>Located on a corner site, the proposed development transitions between the two predominant building setbacks by setting the building form back 9 metres from Womerah Street and the Pacific Highway. This setback area is also heavily landscaped to respect the streetscape and landscape character of the urban conservation area.</p> <p>While the proposed new building is substantially greater in scale and bulk, it is asymmetrical, well-articulated and does not present a uniform building facade to the street. The scale and massing of the new building is broken up through recessing and stepping of the building form with the upper level.</p> <p>The new building has been designed with a contemporary character which is sympathetic to the predominant masonry character of the urban conservation area, while not imitating traditional styles. The proposed development would not have a significant impact on the visual setting of the urban conservation area and is in keeping with council's intention to 'conserve that character of the [urban conservation areas] UCAs while allowing appropriate new medium density development that respects and enhances the existing values'.</p>
<p>3.5 Development within the Vicinity of a Heritage Item</p> <ul style="list-style-type: none"> • <i>O-1 New medium density development that respects the heritage significance of the adjoining or nearby heritage items.</i> • <i>O-2 New medium density that does not visually dominate a heritage item.</i> • <i>O-3 New medium density that does not reduce the views from or to an item from the public realm.</i> • <i>O-4 New medium density that does not impact on the garden setting of an item, particularly in terms of overshadowing the garden or causing physical impacts on important trees.</i> 	<p>The subject site is located in the vicinity of a number of heritage items; adjacent to the south (1187 Pacific Highway), opposite (1284 Pacific Highway), adjacent to the north (3 Womerah Street), further to the north (5 Womerah Street) and to the east (14 Warrangi Street).</p> <p>While the proposed new building is substantially greater in scale and bulk than these existing items, it is set back from the boundaries and incorporates a reduction in floor plate sizes as height increases above the third level. It also recommended that substantial amounts of landscaping be implemented in order to create physical and visual separation from the adjacent items.</p> <p>While the visual setting would be altered, views of these items from the public domain are not adversely affected because of the limited vantage points (especially 1187 Pacific Highway). Existing and introduced landscaping would provide partial screening. This and the physical separation of the heritage items on Warrangi Street would mean that only some portions of the upper levels of the proposed new building would be visible as a backdrop to these items. It is recommended that landscaping treatment at the boundaries include substantial native tree plantings which reach mature heights ranging from 6m to 15m. This would assist in reducing visual impacts.</p> <p>While not strictly adhering to the prescribed 10m separation at the lower levels and 15m setback at the upper level to the heritage item at 3 Womerah Street, the objective to not visually dominate a heritage item is achieved through the 9-metre setback from the north boundary and the recommended substantial landscaping along the north boundary. It should be noted that existing dense and substantial tree planting along its side boundary obscures the views of this heritage item from the public domain. It is understood that existing tree planting will be retained as part of the proposal. While portions of its roof are visible, generally this building is visually contained by the tall masonry fence surrounding it. Its heritage significance as an example of Sydney School architecture would not be impacted and its visual setting would not be substantially affected.</p> <p>The proposed new building incorporates setbacks and a reduction in floor plate as height increases, in order to minimise impact on the listed heritage items on the Pacific Highway and Womerah Street.</p>

5.4 Ku-ring-gai Local Centres Development Control Plan: Part 7—Heritage and Conservation Areas

While the subject site is not located in the Ku-ring-gai Local Centre, it is located adjacent to the Ku-ring-gai Avenue Heritage Conservation Area. The Ku-ring-gai Avenue Heritage Conservation Area is located within the Ku-ring-gai Local Centre and therefore an assessment against the relevant DCP is included.

Objectives	Compliance
<p>7.3 Development in the Vicinity of a Heritage Item</p> <ol style="list-style-type: none"> <i>To ensure that new development respects the heritage significance of the adjoining or nearby heritage item.</i> <i>To ensure that new development does not visually dominate a heritage item.</i> <i>To ensure that new development does not reduce the views from or to the heritage item from the public realm.</i> <i>To ensure that new development does not impact on the garden setting of the heritage item, particularly in terms of overshadowing the garden or causing physical impacts on important trees.</i> 	<p>As above in Section 5.3 (3.5 Development within the Vicinity of a Heritage Item).</p>
<p>7.6 Development in the Vicinity of a Heritage Conservation Area</p> <ol style="list-style-type: none"> <i>To ensure that development in the vicinity of the conservation area respects the HCA's character and setting.</i> <i>To create a buffer that protects the visual cohesiveness of the conservation area.</i> <i>To provide a visual transition between medium/high density residential development and the HCA.</i> <i>To conserve the amenity of buildings in the HCA including privacy, sun access, acoustic control and natural ventilation.</i> <i>To protect significant views and vistas to and from the HCA.</i> <i>To ensure that the scale of new development in the vicinity of the HCA is in harmony with the streetscape and does not dominate, detract from or compete with the HCA.</i> 	<p>The subject site is located adjacent to the southernmost boundary of the Ku-ring-gai Avenue Heritage Conservation Area.</p> <p>It is recommended that the proposed development includes landscaping around the boundaries and within the subject site, including <i>Eucalyptus gummiifera</i>, <i>Eucalyptus piperita</i> and <i>Tristania laurina</i> which have mature heights of 6m–15m. This would enhance the existing landscape character and replenish the indigenous tree canopy of Ku-ring-gai, which is a key aspect of the Ku-ring-gai Avenue Conservation Area. This would help to screen the development from the proposed extension. The scale and bulk of the development would also be mitigated by the setbacks from the northern boundary and the stepping back of the building in its upper level.</p> <p>The proposed development would not have a significant impact on the visual setting of the existing Ku-ring-gai Avenue Urban Conservation Area (which is no longer applicable) or the Ku-ring-gai Avenue Heritage Conservation Area.</p>

6.0 Conclusion and Recommendations

6.1 Conclusion

The assessment of the potential heritage impacts has taken into account the heritage provisions contained within the Ku-ring-gai Planning Scheme Ordinance, the Draft KLEP 2013 and the Ku-ring-gai LEP 2015, and the relevant heritage provisions in the DCP, including DCP 55—Railway / Pacific Highway corridor and St Ives Centre (now repealed).

The proposal seeks to demolish four existing buildings (not heritage items) and construct two five-storey residential flat buildings on the subject site. The subject site has its main frontage to the Pacific Highway, and a secondary frontage to Womerah Street. It is adjacent to and in the vicinity of a number of heritage items on the Pacific Highway and on Womerah Street.

While the proposed new building is substantially greater in scale and bulk than these existing and draft items, it is set back from the boundaries and incorporates a reduction in floor plate sizes as height increases above the third level in order to reduce the impact on the visual setting of the listed heritage items, and the conservation area adjacent.

Planning objectives which allow for larger scale residential developments along arterial roads (such as the Pacific Highway) inevitably result in some visual impact on surrounding lower scale residential neighbourhoods, including heritage items and conservation areas. Having regard to the height controls applying to the site and the planning objectives to intensify development along the Pacific Highway spine, the relatively modest impact of the proposal on the visual setting of the heritage items is considered to be reasonable.

The impact of the proposal on the character of the Ku-ring-gai Avenue Urban Conservation Area and the Ku-ring-gai Avenue Heritage Conservation Area would be as a result of its greater scale and bulk. However, there are already buildings of similar scale and bulk to the proposed development immediately opposite. The additional impacts of the subject proposal on the Ku-ring-gai Avenue UCA and HCA would not be major.

It is also noted that the proposal is broadly consistent with Council's intention to conserve that character of the conservation areas while allowing new medium density development that respects and enhances the existing values and the desired future character statement for Ku-ring-gai, including the following: 'multi-unit housing will be in a setting where vegetation, especially in the form of tall trees, is the dominant impression.' Having regard to the existing development context at the southern end of Womerah Street, the scale and form of the proposed development would not be inappropriate.

The proposed development also includes substantial amounts of landscaping planting (including deep soil) in the setback areas along all the boundaries within the subject site. This would enhance the existing landscape character and replenish the indigenous tree canopy of Ku-ring-gai, which is a key aspect of the Ku-ring-gai Avenue Conservation Area.

6.2 Recommendations

Substantial deep-soil landscape planting should occur on the site adjacent to the boundaries and include tall tree species. In particular, this should occur adjacent to the boundary with the adjoining heritage item at 1187 Pacific Highway to assist with the screening of the development from this heritage item and provide a vegetated backdrop. This would enhance the existing landscape within the area and reinforce the indigenous tree canopy of Ku-ring-gai, which is a key aspect of the Ku-ring-gai Avenue Conservation Area.

As such, it is easily seen that the Code of Appeals requirements of request finality, timeliness, and the requirement to request a judicial finding regarding the merits of the claim are in conformity with the requirements of the Administrative Procedure Act. The Code of Appeals also provides for a finality exception to the finality requirement in cases where the agency is proceeding on its own motion to review a final decision.

[illegible]

1 WOMERAH STREET, TURRAMURRA
PROJECT No 1311
CLIENT: BROADSTATE DEVELOP



DA 511
APARTMENT MIX
JUNE 2015

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A B N 38 147 035 556



02 LEVEL 1 FLOOR PLAN

01 GROUND FLOOR PLAN
NTB

LEVEL	1 BED	2 BED	3 BED	TOTAL
GF	6	11	1	
L1	4	14		
L2	3	14		
L3	3	14		79
L4	1	2	6	
TOTAL	17	55	7	
PERCENTAGE %	21%	70%	9%	

As work to create a new Banking Code of Australia, recommendations of a recent Strategy Commission (Laws Government and various Australian Banking Standards) are implemented, the Government will be able to better manage the public's money. The Commission will be able to do this by providing a framework for the public's money, and by providing a framework for the public's money.

[illegible]

1 WOMERAH STREET, TURRAMURRA
PROJECT NO. 1511
CLIENT BRIDGESTONE AUSTRALIA



PRO | ARCHITECTS

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Level 2, 52 Albion Street, Surry Hills NSW 2010
A B N 24 147 025 550



LEVEL	1 BED	2 BED	3 BED	TOTAL
GF	6	11	1	
L1	4	14		
L2	3	14		
L3	3	14		
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DEVELOPMENT APPLICATION

1 WOMERAH STREET, TURRAMURRA
 PROJECT No 13110
 CLIENT BRADGIST & FREWELL



ISSUED FOR INFORMATION	B
ISSUED FOR INFORMATION	A
DISCONTINUED	
DISCONTINUED	

DA 513
APARTMENT MIX
JUNE 2015

PRO | ARCHITECTS

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GENERAL NOTES:

- * In order to comply with Burdick-Goodrich of Kentucky, shareholders of relevant Statutory Corporations (Local Governmental and Nonprofit Academic Funding Structures) are required to verify all investments are not being commingled with a public accountancy, to comply for database uniform with Kentucky public accounting (noted below from Burdick-Goodrich).
- * Commingled investment account version is required by the office and authority is required for any exceptions.
- * Mutual proprietary products are required to register in accordance with the Uniform Securities Act and related regulations.

CN100371

- [illegible]

